

VICTOR PERES
Chairman
STEVE GILLETT
Commissioner At Large A
JOE MOCK
Commissioner At Large B
WAYNE LANDIN
Commissioner District 1
RICHARD WARREN
Commissioner District 2
Vice Chairman



SEAN MCCABE
Commissioner District 3
MARK FOLLIS
Commissioner District 4
DEWEY WALLS
Commissioner District 5
NANCY OJEDA
Commissioner District 6

LA PORTE PLANNING AND ZONING COMMISSION AGENDA

Monday, November 4, 2024, 6:00 p.m.

Notice is hereby given of a meeting of the La Porte Planning and Zoning Commission to be held on November 4, 2024, at 6:00 p.m. in the City Hall Council Chamber, 604 West Fairmont Parkway, La Porte, Texas for the purpose of considering the following agenda items. All agenda items are subject to action.

Remote participation is available. Attend via a screen using the <https://us02web.zoom.us/j/89969585803?pwd=z2g1MMaM4ZGaugUOb5MIOcWYXruVsM.1>
Join by phone at 888 475 4499 or 877 853 5257. The meeting ID is 899 6958 5803 and the passcode is 257224.

-
1. CALL TO ORDER
 2. ROLL CALL OF MEMBERS
 3. CITIZEN COMMENT
(Generally limited to five minutes per person; in accordance with state law, the time may be reduced if there is a high number of speakers or other considerations.)
 4. CONSIDER APPROVAL OF THE MEETING MINUTES
 - 4.a CONSIDER APPROVAL OF THE MEETING MINIUTES
Approve the minutes of the September 19, 2024, regular meeting of the La Porte Planning and Zoning Commission.
 5. PUBLIC HEARINGS AND ASSOCIATED ITEMS
 - 5.a FLUP AMENDMENT FLUP-2024-0002
The Commission will hold a Public Hearing to receive input on Future Land Use Plan Amendment FLUP-2024-0002, a request by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of an amendment to the future land use designation of the Comprehensive Plan from Commercial to Low Density Residential, on an approximately 0.618-acre tract of land located at 11811 North H Street, and legally described as Tract 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.
 - a. Open Public Hearing
 - b. Staff Presentation
 - c. Applicant Presentation

- d. Public Comments (Limited to 5 minutes per person)
- e. Adjourn Public Hearing
- f. Discussion and Possible Action: Recommendation to La Porte City Council regarding Future Land Use Plan Amendment FLUP-2024-0002.

5.b ZONE CHANGE ZC-2024-0002

The Commission will hold a Public Hearing to receive input on Zone Change ZC-2024-0002, a request by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a zone change from General Commercial (GC) zoning district to Low-Density Residential (R-1) zoning district, on an approximately 0.618-acre tract of land located at 11811 North H Street, and legally described as Tract 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

- a. Open Public Hearing
- b. Staff Presentation
- c. Applicant Presentation
- d. Public Comments (Limited to 5 minutes per person)
- e. Adjourn Public Hearing
- f. Discussion and Possible Action: Recommendation to La Porte City Council regarding Zone Change ZC-2024-0002.

5.c THIS ITEM HAS BEEN WITHDRAWN AT THE REQUEST OF THE OWNER/APPLICANT.

SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0004

The Commission will hold a Public Hearing to receive input on Special Conditional Use Permit SCUP-2024-0004, a request by Mark Higgins on behalf of Becky Ta/BTA Innovative Concepts LLC, owner, for approval of a SCUP to allow a secondary dwelling unit in the rear yard within the Single-Family Residential 1 (R-1) zoning district on an approximately 0.086-acre site located at 204 Dr. Martin Luther King Jr. Dr., and legally described as LT. 14, BLK 65, La Porte, Harris County, Texas.

5.d SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0005

The Commission will hold a Public Hearing to receive input on Special Conditional Use Permit SCUP-2024-0005, a request by Bassam Khoury, applicant, on behalf of Texas Properties Khoury & Turk LLC, owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the General Commercial (GC) zoning district, on a 0.40-acre tract of land, located at 1307 W Fairmont Pky., and legally described as Lots 4 thru 7 & Tracts 8A & 25A thru 30A Block 1097 & Adjacent Alley La Porte, Harris County, Texas.

- a. Open Public Hearing
- b. Staff Presentation
- c. Applicant Presentation
- d. Public Comments (Limited to 5 minutes per person)
- e. Adjourn Public Hearing
- f. Discussion and Possible Action: Recommendation to La Porte City Council

regarding Special Conditional Use Permit SCUP-2024-0005.

5.e SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0006

The Commission will hold a Public Hearing to receive input on Special Conditional Use Permit SCUP-2024-0006, a request by Crystal Vasquez, Huckabee Architects, on behalf of Dustin Bromley, La Porte ISD, owner, for approval of a SCUP to allow an existing school, Lomax Jr. High School within the Low-Density Residential (R-1) zoning district on approximately 20 acres of land located at 9801 L St., and legally described as TRS 413 & 414, La Porte Outlots, La Porte, Harris County, Texas.

- a. Open Public Hearing
- b. Staff Presentation
- c. Applicant Presentation
- d. Public Comments (Limited to 5 minutes per person)
- e. Adjourn Public Hearing
- f. Discussion and Possible Action: Recommendation to La Porte City Council regarding Special Conditional Use Permit SCUP-2024-0006.

5.f SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0007

The Commission will hold a Public Hearing to receive input on Special Conditional Use Permit SCUP-2024-0007, a request by Usman Bukhari, applicant, on behalf of KBK Petroleum Inc., owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the Neighborhood Commercial (NC) zoning district, on a 0.92-acre tract of land, located at 9803 W Fairmont Pky., and legally described as Tracts 719A-1 & 719B La Porte Out Lots, Harris County, Texas.

- a. Open Public Hearing
- b. Staff Presentation
- c. Applicant Presentation
- d. Public Comments (Limited to 5 minutes per person)
- e. Adjourn Public Hearing
- f. Discussion and Possible Action: Recommendation to La Porte City Council regarding Special Conditional Use Permit SCUP-2024-0007.

5.g SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0008

The Commission will hold a Public Hearing to receive input on Special Conditional Use Permit SCUP-2024-0008, a request by Gary Walding, GW Group Properties LLC, owner/applicant, for approval of a SCUP to allow a commercial parking lot to be constructed within the Main Street Zoning District on 0.43 acres of land located at 0 Dr. Martin Luther King, Jr. Dr., and legally described as Lots 24-29, Block 55, La Porte, Harris County, Texas.

- a. Open Public Hearing
- b. Staff Presentation
- c. Applicant Presentation
- d. Public Comments (Limited to 5 minutes per person)

- e. Adjourn Public Hearing
- f. Discussion and Possible Action: Recommendation to La Porte City Council regarding Special Conditional Use Permit SCUP-2024-0008.

6. ADMINISTRATIVE REPORTS

- a. Council Action
- b. Next Meeting
 - Regular Meeting – November 21, 2024

7. COMMISSIONER COMMENT

Hear announcements concerning matters appearing on the agenda; items of community interest; and/or inquiries of staff regarding specific factual information or existing policy from the Mayor, Councilpersons, and City staff, for which no formal action will be discussed.

8. ADJOURN

If, during the course of the meeting and discussion of any items covered by this notice, Commission determines that a closed or executive session of the Commission is required, then such closed meeting will be held as authorized by Texas Government Code, Chapter 551, Section 551.071 consultation with counsel on legal matters; Section 551.072 - deliberation regarding purchase, exchange, lease or value of real property; Section 551.073 - deliberation regarding a prospective gift; Section 551.074 - personnel matters regarding the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; Section 551.076 - implementation of security personnel or devices; Section 551.087 - deliberation regarding economic development negotiation; Section 551.089 - deliberation regarding security devices or security audits, and/or other matters as authorized under the Texas Government Code. If a closed or executive session is held in accordance with the Texas Government Code as set out above, the Commission will reconvene in an open session in order to take action, if necessary, on the items addressed during the executive session.

Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services are requested to contact the office of Planning and Development Department (281-470-5057), three working days prior to the meeting for appropriate arrangements.

Pursuant to Texas Government Code Sec. 551.127, on a regular, non-emergency basis, members may attend and participate in the meeting remotely by video conference. Should that occur, a quorum of the members will be physically present at the location noted above on this agenda.

CERTIFICATE

The undersigned does hereby certify that a copy of the November 4, 2024, Planning and Zoning Commission agenda was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, www.LaPorteTX.gov, in compliance with Chapter 551, Texas Government Code.

DATE:

TIME:

TAKEN DOWN:

Lee Woodward, City Secretary

City of La Porte, Texas
Planning and Zoning Commission



AGENDA ITEM #4.a

Consider Approval of the Meeting Minutes

Approve the minutes of the September 19, 2024, regular meeting of the La Porte Planning and Zoning Commission.

DAVID BRADY
Chairman
STEVE GILLETT
Commissioner At Large A
JOE MOCK
Commissioner At Large B
WAYNE LANDIN
Commissioner District 1
RICHARD WARREN
Commissioner District 2
Vice Chairman



SEAN MCCABE
Commissioner District 3
MARK FOLLIS
Commissioner District 4
VICTOR PERES
Commissioner District 5
NANCY OJEDA
Commissioner District 6

MINUTES OF THE REGULAR MEETING OF THE LA PORTE PLANNING AND ZONING COMMISSION SEPTEMBER 19, 2024

The Planning and Zoning Commission of the City of La Porte met in a regular meeting on Thursday, September 19, 2024, at the City Hall Council Chambers, 604 West Fairmont Parkway, La Porte, Texas, at 6:00 p.m., with the following in attendance:

Commissioners present: Commissioner Steve Gillett; Joe Mock; Wayne Landin; Richard Warren; Sean McCabe; Mark Follis; Victor Peres; and Nancy Ojeda were present.

Commissioners absent: Chairman David Brady was absent.

City Staff present: Clark Askins, City Attorney; Johnna Matthews, Planning Manager; Yvonne Briscoe, Planner II; Matt Daeumer, Asst. City Manager; Maria Pena, Dept. Coordinator; Richard Glass, Chief Building Official; Curtis Tarver, Deputy Building Official; and Malik Michel, Engineering Manager.

1. **CALL TO ORDER:** Vice Chairman Richard Warren called the meeting to order at 6:12 p.m.
2. **ROLL CALL OF MEMBERS:** Commissioner Steve Gillett, Joe Mock, Wayne Landin, Richard Warren, Sean McCabe, Mark Follis, Victor Peres, and Nancy Ojeda were present whether in-person or remotely.
3. **ELECTION OF OFFICERS OF THE PLANNING AND ZONING COMMISSION:**
 - a. **Vice-Chairperson**
Commissioner Victor Peres made the motion to nominate Commissioner Richard Warren for Vice-Chairman. Commissioner Sean McCabe seconded the motion; the motion was adopted 8-0.
 - b. **Secretary**
Commissioner Victor Peres made the motion to nominate Commissioner Nancy Ojeda for Secretary. Commissioner Wayne Landin seconded the motion; the motion was adopted 8-0.
4. **CITIZEN COMMENT:** *(Generally limited to five minutes per person; in accordance with state law, the time may be reduced if there is a high number of speakers or other considerations.)*

No Comment

5. APPROVE THE MINUTES OF THE AUGUST 15, 2024, REGULAR MEETING OF THE LA PORTE PLANNING AND ZONING COMMISSION:

Commissioner Nancy Ojeda made the motion to approve the meeting minutes. Commissioner Sean McCabe seconded the motion and Commissioner Steve Gillett abstained; the motion was adopted 7-0.

6. PUBLIC HEARINGS AND ASSOCIATED ACTIONS:

- 6. a ZONE CHANGE ZC-2024-0001:** The Commission will hold a Public Hearing to receive input on Zone Change ZC-2024-0001, a request by Sandra Fuller, owner, to approve ZC-2024-0001 for a zone change from General Commercial (GC) zoning district to Low-Density Residential (R-1) zoning district, located at 202 South 8th Street, on an approximately 0.51 acre tract of land legally described as Lots 26, 27, 28, 29, 30, 31 & 32 Block 28, LA PORTE; La Porte, Harris County, Texas.

The Public Hearing was opened at 6:20 p.m.

Planner Yvonne Briscoe presented the proposed Zone Change request ZC-2024-0001.

Juan Villareal spoke about his zone change application pulled from this agenda. This comment is not about the proposed Zone Change request ZC-2024-0001.

Karen Gonzales spoke about Juan Villareal's zone change application pulled from this agenda. This comment is not about the proposed Zone Change request ZC-2024-0001.

The applicant Sandra Fuller provided information on the proposed Zone Change request ZC-2024-0001.

The Public Hearing was adjourned at 6:44 p.m.

Commissioner Nancy Ojeda made the motion to approve the proposed Zone Change request ZC-2024-0001 from General Commercial (GC) to Low-Density (R-1). Commissioner Victor Peres seconded the motion; the motion was adopted 8-0.

- 6. b CHAPTER 106 AMENDMENTS:** The Commission will consider and discuss proposed amendments to Chapter 106 “Zoning” and Chapter 90 “Entertainment” of the Code of Ordinances of the City of La Porte, Texas.

a. Removal of livestock regulations

b. Classification and location of sexually oriented businesses

Planner Yvonne Briscoe presented the proposed amendment to Chapter 106 “Zoning” and Chapter 90 “Entertainment” of the Code of Ordinances of the City of La Porte, Texas.

Commissioner Victor Peres recommended bringing back the proposed amendment for a public hearing on item a. Removal of livestock regulations and item b. Classification and location of sexually oriented businesses with the changes that were presented to the board.

- 6. c CHAPTER 106 AMENDMENTS:** The Commission will consider and discuss proposed amendments to Chapter 106 “Zoning” of the Code of Ordinances of the City of La Porte, Texas.

a. Food Truck Park regulations

Commissioner Victor Peres left the dais.

Victor Peres, as a citizen of the City of La Porte, provided information regarding Chapter 106 Amendment “Zoning” Food Truck Park regulations.

Commissioner Victor Peres rejoined the dais.

7. ADMINISTRATIVE REPORTS:

The Planning Manager Johnna Matthews presented administrative reports.

a. Council Action

There were no Planning and Zoning Commission items on the September 9th City Council agenda.

b. Next Meeting

- a. Special Meeting – November 4, 2024
- b. Regular Meeting – November 21, 2024

- 8. COMMISSION COMMENT:** *Comments on matters appearing on the agenda or inquiry of staff regarding specific information or existing policy.*

No Comment

- 9. ADJOURN:** Commissioner Wayne Landin made the motion to adjourn at 7:35 p.m. Commissioner Sean McCabe seconded the motion; the motion was adopted 8-0.

Victor Peres, Planning and Zoning Commission Chairman

Nancy Ojeda, Planning and Zoning Commission Secretary

**City of La Porte, Texas
Planning and Zoning Commission**



AGENDA ITEM 5.a

Future Land Use Plan (FLUP) Amendment # FLUP-2024-0002

The Commission will hold a Public Hearing to receive input on FLUP-2024-0002, a request by Juan Villareal, applicant on behalf of Synergy 7 LLC, owner for approval of an amendment to the future land use designation of the Comprehensive Plan from Commercial to the Low-Density Residential, on an approximately 0.618-acre tract of land located at 11811 N. H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.



**Planning and Development Department Staff Report
 FLUP Request - #FLUP-2024-0002**

DISCUSSION

Location:

The subject property is located at 11811 N. H St.

Legal Description:

TR 241C La Porte Outlets, La Porte, Harris County, Texas

Background Information:

On May 31, 2024, a permit was inadvertently issued for the construction of a single-family home on the subject property. However, the property is zoned General Commercial (GC), which does not permit the construction of single-family homes. This discrepancy was identified during a subsequent inspection, at which point the applicant was advised that they may need to apply for a zoning change. The applicant is seeking to rezone the property from General Commercial (GC) to Low-Density Residential (R-1). Additionally, an amendment to the Future Land Use designation in the Comprehensive Plan is required. Currently, the City’s Future Land Use Map designates the property as General Commercial. The Future Land Use designation is crucial in guiding development patterns and establishing a long-term vision for the area.

The General Commercial designation outlines key elements that define the appropriate character and type of development consistent with the goals of the Comprehensive Plan. This includes provisions for medium-intensity uses and low to mid-rise commercial developments. The Comprehensive Plan also includes an Appropriateness Table, which ranks various uses from most to least appropriate within the General Commercial designation. Single-family homes, duplexes, multi-family housing, light industrial, and heavy industrial uses are deemed the least appropriate, whereas neighborhood commercial uses, general commercial activities, and open space are identified as suitable.

DEVELOPMENT TYPE	APPROPRIATENESS	CONDITIONS
Single-Family Homes	○○○	
Duplex Homes and Townhomes	○○○	
Multifamily	●●○	May be considered appropriate to encourage mixed use development and walkability.
Neighborhood Commercial	●●●	
General Commercial	○○○	
Light Industrial	○○○	
Heavy Industrial	○○○	
Open Space	●●●	Generally considered appropriate or compatible within all Land Use Categories.



Planning and Zoning Commission
November 4, 2024 – FLUP-2024-0002

The future land use designation is amended from time to time as deemed necessary to reflect changing community needs and development goals if approved by City Council, upon recommendation by the Planning and Zoning Commission. Exhibit A identifies the existing future land use plan for the area.

The residential construction encompasses an approximately 2,482-square-foot home and includes four bedrooms, two and a half bathrooms, and a two-car garage. Additionally, the home features a breakfast bar, double vanities, high ceilings, a kitchen island, a family room, and a laundry room.

According to Harris Central Appraisal District records, the property includes 0.618 acres of land/26,922 square feet (121' x 222.5').

The below table identifies the surrounding zoning districts, land uses and future land use plan designations surrounding properties:

	Zoning	Land Use	FLUP Designation
North	General Commercial (GC)	Single-Family Home	General Commercial
South	General Commercial (GC)	Fire Station No. 3	General Commercial
West	Large Lot Residential (LL)	Single-Family Home	Low-Density Residential
East	General Commercial (GC)	Single-Family Home	General Commercial

Analysis:

Staff evaluated land use, access and utility considerations during the review of this application. The following describes staff’s analysis:

1. **Land Use.** Staff finds that a zone change from General Commercial (GC) to Low-Density Residential (R-1) is not consistent with the character of surrounding uses. Adjacent residential zoning to the west is zoned LL, Large Lot Residential which requires a minimum lot area of one acre for single-family developments, whereas the proposed zoning district of R-1 requires a minimum lot area of 6,000 square feet (0.13 acres). Other surrounding land uses include single-family to the north, although zoned GC, a room rental use to the east zoned GC, and a fire station to the south zoned GC
2. **Access.** Access will be provided from N. H St. Permits will be required from Harris County where the driveway connects to the right-of-way and from the City of La Porte where the driveway will be constructed on private property.



3. **Utilities**. Utilities for the single-family home are adequately supported by existing infrastructure. According to Public Works, there is an existing six-inch water line on the south side of N. H St., and an existing eight-inch sewer line along the north side of N. H St.

The City’s Comprehensive Plan identifies several items to be considered prior to making land use decisions. The following table breaks down each item and staff’s findings.

Criterion:	Staff Findings:
Ability of infrastructure to support the permitted use.	Existing infrastructure in the area is sufficient to support the proposed use.
Impact on the value and practicality of the surrounding land uses.	The impact on the value and practicality of the surrounding land uses is unknown.
Conformance of a zoning request with the land use plan.	The existing future land use designation for the subject property is General Commercial and is not consistent with the proposed Low-Density Residential (R-1) zoning district. However, a proposal to amend the future land use designation to Low-Density Residential precedes the zone change request.
Character of the surrounding and adjacent areas.	Staff finds that a zone change from General Commercial (GC) to Low-Density Residential (R-1) is not consistent with the character of surrounding uses. Adjacent residential zoning to the west is zoned LL, Large Lot Residential which requires a minimum lot area of one acre for single-family developments, whereas the proposed zoning district of R-1 requires a minimum lot area of 6,000 square feet (0.13 acres). Other surrounding land uses include single-family to the north, although zoned GC, a room rental use to the east zoned GC, and a fire station to the south zoned GC.
Suitability of the property for the uses that would be permissible, considering density, access and circulation, and adequacy of public facilities and services.	The proposed zoning district of R-1 would introduce residential uses to the property which are more dense than the adjacent residential zoning district of LL, which permits 1 dwelling unit per acre. The proposed R-1 zoning district allows for 4.8 dwelling units per acre.



The extent to which the proposed use designation would adversely affect the capacity or safety of that portion of the road.	It is not anticipated that the addition of a single-family home would adversely affect the capacity or safety of that portion of N. H. Street.
The extent to which the proposed use designation would create excessive air pollution, water pollution, noise pollution, or other environmental harm to adjacent properties.	It is anticipated that the proposed use will have minimal impact on the environment. The development is not expected to generate excessive air or water pollution, noise pollution, or other environmental concerns.
The gain, if any, to the public health, safety, and welfare of the City.	N/A

Section 213.003 of the Texas Local Government Code (TLGC) specifies requirements for amending the City’s Future Land Use Plan, which was adopted as a component of the Comprehensive Plan. The TLGC requires review of the proposed amendment by the Planning and Zoning Commission and consideration by the City Council. A public hearing will be scheduled at the time of the City Council review.

RECOMMENDATION

Based on the above analysis, staff recommends the Planning and Zoning Commission consider the proposed amendment to the City’s Future Land Use Designation.

ATTACHMENTS

Exhibit A: Future Land Use Map

LOVINNIE

Large Lot Residential

Commercial

N H ST

SENS RD

Public/ Institutional

Large Lot Residential

Commercial

Light Industrial

Business Industrial

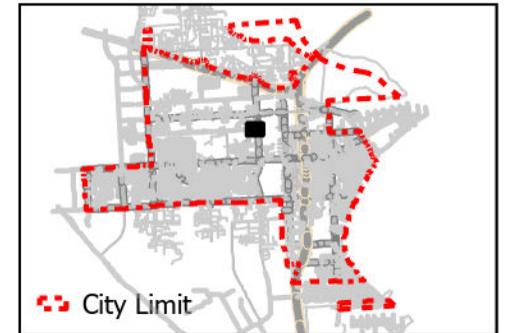
Exhibit A FLUP Map

Parcel # 0231360000241
Case # FLUP-2024-0002

 Subject Property

Future Land Use

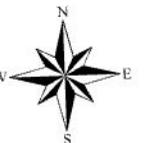
-  Large Lot Residential
-  Commercial
-  Business Industrial
-  Light Industrial
-  Public / Institutional



This product is for informational purposes only and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of the property boundaries

0 100 200 Feet

1 inch = 200 feet



CITY OF LA PORTE PLANNING DEPARTMENT

**City of La Porte, Texas
Planning and Zoning Commission**



AGENDA ITEM 5.b

Zone Change # ZC-2024-0002:

The Commission will hold a Public Hearing to receive input on Zone Change ZC-2024-0002, a request by Juan Villareal, applicant on behalf of Synergy 7 LLC, owner for approval of a zone change from the General Commercial (GC) zoning district to the Low-Density Residential (R-1) zoning district, on an approximately 0.618-acre tract of land located at 11811 N. H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.



Planning and Development Department Staff Report Zone Change Request - #ZC-2024-0002

DISCUSSION

Location:

The subject property is located at 11811 N. H St.

Legal Description:

TR 241C La Porte Outlets, La Porte, Harris County, Texas

Background Information:

A permit was mistakenly issued on May 31, 2024, allowing the construction of a single-family home at the subject property. The property is zoned General Commercial (GC), which does not permit single-family homes. The discrepancy was identified during a subsequent inspection, at which point the applicant was informed that a change in zoning would be required. The applicant is requesting a change in zoning from GC to Low-Density Residential (R-1) and a future land use designation amendment from Commercial to Low-Density Residential to align with the nature of the nearly finished home. The residential construction encompasses an approximately 2,482-square-foot home and includes four bedrooms, two and a half bathrooms, and a two-car garage. Additionally, the home features a breakfast bar, double vanities, high ceilings, a kitchen island, a family room, and a laundry room.

According to Harris Central Appraisal District records, the property includes 0.618 acres of land/26,922 square feet (121' x 222.5').

The below table illustrates the zoning of surrounding properties as well as surrounding uses:

	Zoning	Land Use
North	General Commercial (GC)	Single-Family Home
South	General Commercial (GC)	Fire Station No. 3
West	Large Lot Residential (LL)	Single-Family Home
East	General Commercial (GC)	Single-Family Home

Notification Requirements:

Staff finds that the public hearing notification requirements outlined in Section 106-171 were performed in accordance with code provisions, including the following: notice in a newspaper of general circulation at least 15 days prior to the hearing; written notice mailed to owners of real property within 300 feet of the site within 10 days of the hearing; and signs posted in the area of the rezoning within 15 days of the hearing. In accordance



Planning and Zoning Commission
November 4, 2024 – Zone Change ZC-2024-0002

with state law, notice of the public hearing was also posted at City Hall and on the City’s website.

Staff sent eleven (11) notices of the public hearing to all property owners within 300 feet of the site. As of the date of this writing, no notices have been returned.

Analysis:

Staff evaluated land use, access and utility considerations during the review of this application. The following describes staff’s analysis:

1. **Land Use.** Staff finds that a zone change from General Commercial (GC) to Low-Density Residential (R-1) is not consistent with the character of surrounding uses. Adjacent residential zoning to the west is zoned LL, Large Lot Residential which requires a minimum lot area of one acre for single-family developments, whereas the proposed zoning district of R-1 requires a minimum lot area of 6,000 square feet (0.13 acres). Other surrounding land uses include single-family to the north, although zoned GC, a room rental use to the east zoned GC, and a fire station to the south zoned GC
2. **Access.** Access will be provided from N. H St. Permits will be required from Harris County where the driveway connects to the right-of-way and from the City of La Porte where the driveway will be constructed on private property.
3. **Utilities.** Utilities for the single-family home are adequately supported by existing infrastructure. According to Public Works, there is an existing six-inch water line on the south side of N. H St., and an existing eight-inch sewer line along the north side of N. H St.

The City’s Comprehensive Plan identifies several items to be considered prior to making land use decisions. The following table breaks down each item and staff’s findings.

Criterion:	Staff Findings:
Ability of infrastructure to support the permitted use.	Existing infrastructure in the area is sufficient to support the proposed use.
Impact on the value and practicality of the surrounding land uses.	It is anticipated that the proposed change in zoning will significantly enhance both the value and practicality of surrounding land uses since the property is surrounded by residential uses to the east, west and north. The proposed zone change aligns with the existing land use patterns, creating a cohesive and attractive neighborhood.
Conformance of a zoning request with the land use plan.	The existing future land use designation for the subject property is General Commercial and is not consistent with the proposed Low-Density Residential (R-1) zoning district. However, a proposal to amend the future land use



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	designation to Low-Density Residential precedes the zone change request.
Character of the surrounding and adjacent areas.	Staff finds that a zone change from General Commercial (GC) to Low-Density Residential (R-1) is not consistent with the character of surrounding uses. Adjacent residential zoning to the west is zoned LL, Large Lot Residential which requires a minimum lot area of one acre for single-family developments, whereas the proposed zoning district of R-1 requires a minimum lot area of 6,000 square feet (0.13 acres). Other surrounding land uses include single-family to the north, although zoned GC, a room rental use to the east zoned GC, and a fire station to the south zoned GC.
Suitability of the property for the uses that would be permissible, considering density, access and circulation, and adequacy of public facilities and services.	The proposed zoning district of R-1 would introduce residential uses to the property which are more dense than the adjacent residential zoning district of LL, which permits 1 dwelling unit per acre. The proposed R-1 zoning district allows for 4.8 dwelling units per acre.
The extent to which the proposed use designation would adversely affect the capacity or safety of that portion of the road.	It is not anticipated that the addition of a single-family home would adversely affect the capacity or safety of that portion of N. H. Street.
The extent to which the proposed use designation would create excessive air pollution, water pollution, noise pollution, or other environmental harm to adjacent properties.	It is anticipated that the proposed use will have minimal impact on the environment. The development is not expected to generate excessive air or water pollution, noise pollution, or other environmental concerns.
The gain, if any, to the public health, safety, and welfare of the City.	N/A



Planning and Zoning Commission
November 4, 2024 – Zone Change ZC-2024-0002

RECOMMENDATION

Based on the above analysis, staff recommends the Planning and Zoning Commission consider the proposed Zone Change request ZC-2024-0002.

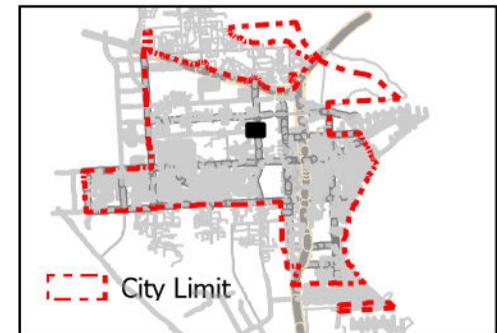
ATTACHMENTS

- Exhibit A: Aerial Map
- Exhibit B: Zoning Map
- Exhibit C: Future Land Use (FLUP) Map
- Exhibit D: Notification Map
- Exhibit E: Site Photos
- Exhibit F: BOA Ad
- Exhibit G: Application

Exhibit A Aerial Map

Parcel # 0231360000241
Case # ZC-2024-0002

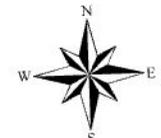
 Subject Property



This product is for informational purposes only and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of the property boundaries

0 100 200 Feet

1 inch = 200 feet



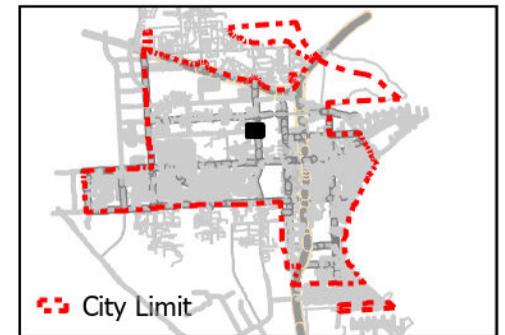
CITY OF LA PORTE PLANNING DEPARTMENT



Exhibit B Zoning Map

Parcel # 023136000241
Case # ZC-2024-0002

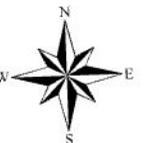
-  Subject Property
- Zoning Districts
 -  Business Industrial
 -  General Commercial
 -  Light Industrial
 -  Large Lot Residential
 -  Manufactured Housing



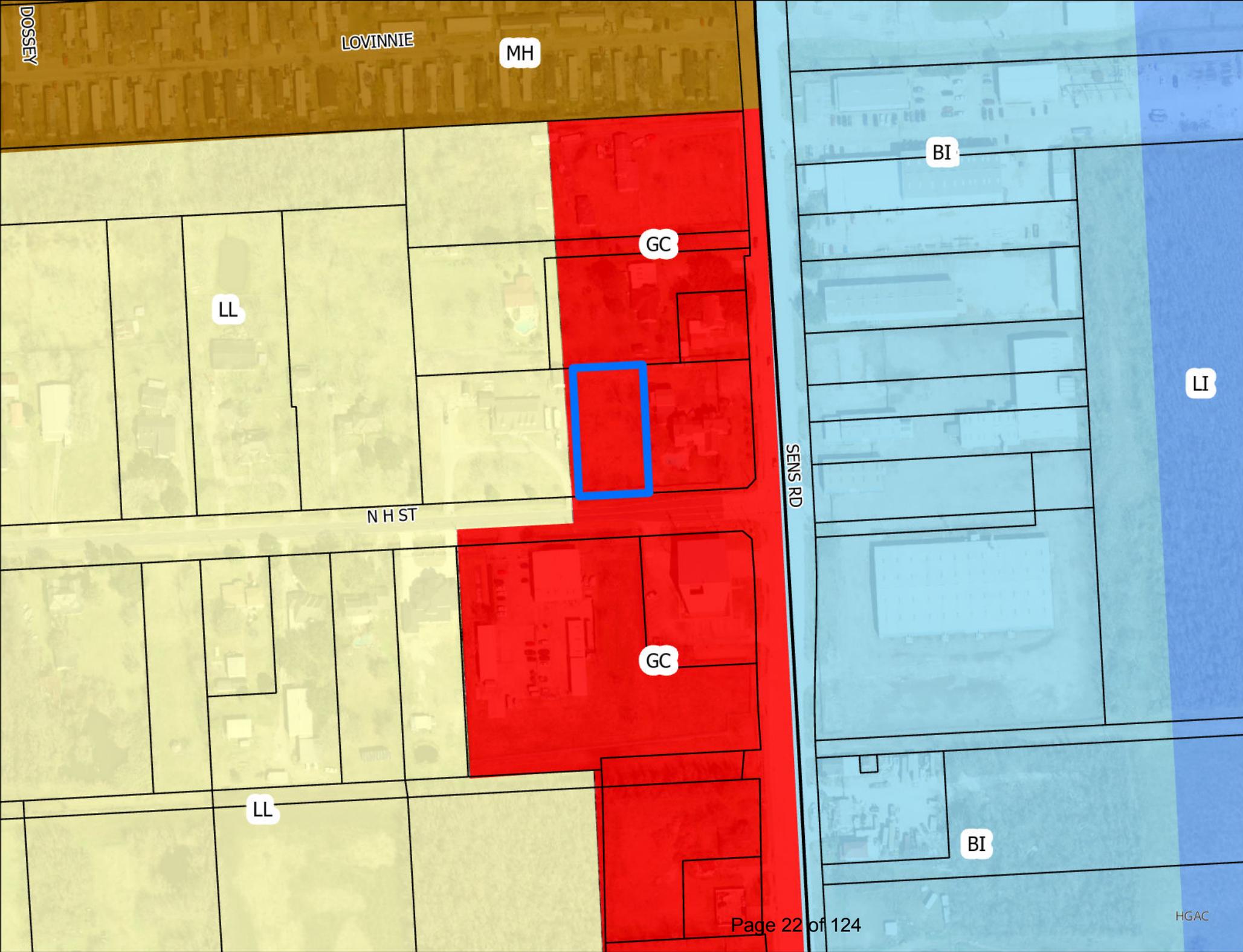
This product is for informational purposes only and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of the property boundaries

0 100 200 Feet

1 inch = 200 feet



CITY OF LA PORTE PLANNING DEPARTMENT



LOVINNIE

Large Lot Residential

Commercial

N H ST

SENS RD

Public/
Institutional

Large Lot Residential

Commercial

Light Industrial

Business Industrial

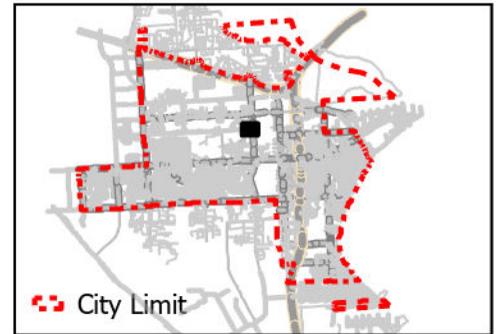
Exhibit C FLUP Map

Parcel # 0231360000241
Case # ZC-2024-0002

 Subject Property

Future Land Use

-  Large Lot Residential
-  Commercial
-  Business Industrial
-  Light Industrial
-  Public / Institutional



This product is for informational purposes only and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of the property boundaries

0 100 200 Feet

1 inch = 200 feet

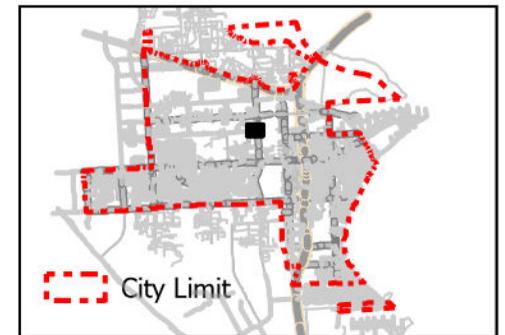


CITY OF LA PORTE PLANNING DEPARTMENT

Exhibit D Notification Map

Parcels within 300 feet of
Parcel # 023136000241
Case # ZC-2024-0002

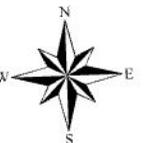
-  Subject Property
-  Noticed Properties



This product is for informational purposes only and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of the property boundaries

0 100 200 Feet

1 inch = 200 feet



CITY OF LA PORTE PLANNING DEPARTMENT

Exhibit E

Site Photo



LEGAL NOTICES

Notice of Proposed Projects of the La Porte Development Corporation Board (Type B)

Pecan Park Field Upgrades: Pursuant to Texas Local Government Code Section 505.160 notice is hereby given that the La Porte Development Corporation Board (Type B Board) of the City of La Porte, Texas has proposed an official project related to recreational or community facilities, in an amount not to exceed \$2,000,000.00. The purpose of the project is for design and construction to replace grass fields at Pecan Park with turf.

In accordance with Texas Local Government Code 505.160 the public has the right to gather a petition to object to the proposed projects by requiring an election. The petition must request that an election be held before the project is undertaken and must be signed by more than ten percent (10%) of the registered voters of the City of La Porte. The petition must be received by the City of La Porte not later than the sixtieth (60th) day after publication of this notice.

Please reach out to Haley Bowers, Economic Development Manager, at BowersH@LaPorteTX.gov or 281-470-5016 with any questions or comments you may have.

NOTICE OF PUBLIC HEARING OF THE CITY COUNCIL OF THE CITY OF LA PORTE ON ZONE CHANGE REQUEST # ZC-2024-0001

Notice is hereby given that the La Porte City Council will conduct public hearings at **6:00 P.M. on October 26, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Zone Change Request # ZC-2024-0001, requests submitted by Sandra Fuller, owner for approval of a zone change from General Commercial (GC) Zoning District to Low Density Residential (R-1) Zoning District, on three tracts of land including a total of 0.51 acres of land located at 202 S 8TH ST., and legally described as LTS 26 27 28 29 30 31 & 32 BLK 28 LA PORTE; La Porte, Harris County, Texas.

Following the public hearing, the City Council will act upon the public hearing item and conduct other matters pertaining to the Council.

Citizens wishing to address the Council pro or con during the public hearing are required to sign in before the meeting is convened.

In compliance with the Americans with Disabilities Act, the City of La Porte will provide reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be submitted three (3) business days prior to the meetings. Please contact the City Secretary at 281- 470-5021.

NOTICE OF PUBLIC HEARING OF THE PLANNING & ZONING COMMISSION OF THE CITY OF LA PORTE ON ZONE CHANGE REQUEST # ZC-2024-0002

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct public hearings at **6:00 P.M. on September 19, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Zone Change Request # ZC-2024-0002, a request submitted by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a zone change from the General Commercial (GC) Zoning District to Low-Density Residential (R-1) Zoning District, on an approximately 0.618-acre tract of land located at 11811 H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, the City of La Porte will provide reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be submitted three (3) business days prior to the meetings. Please contact the City Secretary at 281- 470-5021.

NOTICE OF PUBLIC HEARING OF THE PLANNING & ZONING COMMISSION OF THE CITY OF LA PORTE ON FUTURE LAND USE AMENDMENT REQUEST # FLUP-2024-0002

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct public hearings at **6:00 P.M. on September 19, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Future Land Use Amendment Request # FLUP-2024-0002, a request submitted by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a future land use amendment from Commercial to Low-Density Residential, on an approximately 0.618-acre tract of land located at 11811 H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, the City of La Porte will provide reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be submitted three (3) business days prior to the meetings. Please contact the City Secretary at 281- 470-5021.

THE STATE OF TEXAS)

COUNTY OF HARRIS)

CITY OF LA PORTE)

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City Council of the City of La Porte will hold a Public Hearing on the 9th day of September 2024, in the Council Chambers of the City Hall, 604 West Fairmont Parkway, La Porte, Texas, beginning at 6:00 P.M. The purpose of this hearing is to provide citizens the opportunity to comment on the overall budget.

This budget will raise more revenue from property taxes than last year's budget by an amount of \$347,370.00, which is a 0.84 percent increase from last year's budget. The property tax revenue to be raised from new property added to the tax roll this year is \$765,907.00.

The City of La Porte must, by Charter requirement, adopt its fiscal budget by September 30, 2024. Copies of the adopted budget will be available for public inspection and copying at the office of the City Secretary, City Hall, 604 West Fairmont Parkway, La Porte, Texas, during normal business hours. Copies will also be made available on the City's website.

CITY OF LA PORTE

NOTICE OF PUBLIC HEARING OF THE PLANNING AND ZONING COMMISSION ON SPECIAL CONDITIONAL USE PERMIT (SCUP) REQUEST #SCUP-2024-0003

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M. on September 19, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit (SCUP) #SCUP-2024-0003, a request by Mario Lanza, applicant, on behalf of 92 FAIRMONT LAKES INC, property owner, to approve SCUP 2024-0003, to allow for a residential subdivision containing 205 lots with minimum dimensions of 50 ft. by 125 ft., 9.76-acre detention, 2.70-acre park land, and 1.42 open space and sound wall; (NAICS 236115); to be generally located on the northeast corner of SH 146 and Wharton Weems Blvd., on four tracts of land including a total of 56.75-acre tract of land legally described as TR 5 ABST 30 W P HARRIS, TR 5L ABST 30 W P HARRIS, TR 1M ABST 35 J HUNTER, and LTS 1 THRU 32 BLK 1267 & TR 33 LA PORTE; Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5021.

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*Terms and Conditions apply.

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Exhibit G

PLAN SNAPSHOT REPORT ZC-2024-0002 FOR CITY OF LA PORTE

Plan Type: Zone Change	Project:	App Date: 08/15/2024
Work Class: Zone Change	District: Blank	Exp Date: 05/01/2025
Status: Submitted	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To: Matthews, Johnna	Approval Expire Date:

Description: COMMERCIAL TO RESIDENTIAL

Parcel: 0231360000241	Main	Address: 11811 N H St La Porte, TX 77571	Main	Zone:
------------------------------	------	--	------	--------------

Applicant KAREN GONZALEZ	Owner Juan Villarreal 11434 n. P st La porte, TX 77571 Home: (832) 673-8402 Business: (832) 673-8402 Mobile: (832) 673-8402	Applicant Juan Villarreal 11434 n. P st La porte, TX 77571 Home: (832) 673-8402 Business: (832) 673-8402 Mobile: (832) 673-8402
------------------------------------	--	--

Plan Custom Fields

Legal Description (LOT,TRACT 241C LA PORTE BLOCK, SUDB.)	OUTLOTS	Lot Area	0.618 ACRES
--	---------	----------	-------------

Attachment File Name	Added On	Added By	Attachment Group	Notes
Lot 241, 242 North H Street, La Porte, TX - SEALED FOR 05.09.2024.pdf	08/15/2024 8:12	Rivas, Yaritza	Available Online	
Untitled document 2.pdf	08/15/2024 8:12	Rivas, Yaritza	Available Online	
FW_ 11811 H Street.pdf	08/15/2024 8:30	Briscoe, Yvonne		Waived fees per City Manager

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Planning Review v.1	In Review	08/15/2024	08/26/2024		No	No

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Planning Division	Planning	Matthews, Johnna	In Review	08/15/2024	08/26/2024	

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1		08/15/2024 8:37	08/15/2024 8:37
Confirm Application Completeness v.1	Generic Action		08/15/2024 8:37
Fees v.1		08/15/2024 8:37	08/15/2024 8:38
Invoice Fees v.1	Generic Action		08/15/2024 8:38
Confirm Fees Paid v.1	Generic Action		08/15/2024 8:38
Administrative Approval v.1			
Planning Review v.1	Receive Submittal	08/15/2024 0:00	
Planning & Zoning Commission v.1			
Schedule Public Hearing (P & Z Commission) v.1	Hold Hearing		
Post Sign Posting on Property v.1	Generic Action		
Email Legal Ad to Bay Area Observer v.1	Generic Action		
Confirm Bay Area Observer Published v.1	Generic Action		
Mail Notice of Public Hearing v.1	Generic Action		
Prepare and Distribute Staff Report v.1	Generic Action		
Staff Report Approval v.1	Generic Action		
Post Agenda and Packet on Website v.1	Generic Action		
Agenda and Packet to Commission v.1	Generic Action		

PLAN SNAPSHOT REPORT (ZC-2024-0002)

Agenda Posted On Bulletin v.1	Generic Action
City Council v.1	
Schedule Public Hearing (City Council) v.1	Hold Hearing
Email Legal Ad to Bay Area Observer v.1	Generic Action
Confirm Bay Area Observer Published v.1	Generic Action
Post Sign Posting on Property v.1	Generic Action
Issue Record of Decision v.1	Generic Action
Issue Ordinance v.1	
Issue Ordinance v.1	Generic Action
Close Application v.1	
Complete & Close Application v.1	Generic Action



Zone Change Application

Planning and Development Department

604 West Fairmont Parkway

La Porte, Texas 77571

281-470-5057

OVERVIEW

Zoning protects the rights of property owners while promoting the general welfare of the community. The purpose of zoning is to locate particular land uses where they are most appropriate. A property owner may submit an application requesting consideration of a zone change or modification to the zone district that their property is located. Requests for a rezoning are reviewed in accordance with the provisions of Section 106-171 of the City of La Porte Code of Ordinances and the city's Comprehensive Plan. Rezoning requests are reviewed by the Planning and Zoning Commission as a public hearing. The Commission consists of residents of the community appointed by City Council. The Commission meets on the third Thursday of every month, as necessary. The Commission will forward a recommendation to the City Council for final consideration.

SUBMITTAL REQUIREMENTS

The following application package must be submitted to the Planning and Development Department at least three (3) weeks prior to the desired hearing date.

- Completed application form.**
- Application fee** of \$400; nonrefundable.
- Site plan, conceptual site plan or general plan**, drawn to scale and dimensioned to depict the development being proposed.
- Project description/justification letter** that thoroughly explains what is being requested and why such SCUP should be approved by the Planning and Zoning Commission and City Council.
- Notice of sign posting** fully completed, that ensures the applicant is aware of the requirements of the Public Hearing notice sign.

PROCESS

- Upon receipt of a complete application package by the Planning and Development Department, the zone change request will be scheduled for the next available Planning and Zoning Commission meeting date as a public hearing.
- The Planning and Development Department will post a Notice of Public Hearing sign on the property where the Zone Change is being requested. The sign must be posted on the property visible from and within 20 feet of the abutting street for a minimum of 10 days before the scheduled public hearing.
- The Planning and Development Department will publish notice of the public hearing in the Bay Area Observer and at City Hall in conformance with legal requirements. Additionally, the city will send notice of the public hearing to all property owners within 300 feet of the subject property where the zone change is being requested.



Zone Change Application

Planning and Development Department

- The Planning and Zoning Commission public hearing will be held in the City Council Chamber at City Hall (604 W. Fairmont Parkway). At the meeting, the Planning and Zoning Commission will conduct a public hearing and provide a recommendation to the City Council on the proposed rezoning. If additional information is requested by the Commission, the public hearing may be continued to a future meeting date.
- The Commission is tasked to review the proposed zone change and offer a recommendation to the City Council for approval, denial, or approval with conditions.
- Following the Commission's public hearing, their recommendation on the proposed rezoning is then forwarded to City Council for consideration.
- For the City Council public hearing, the Planning and Development Department will publish notice of the public hearing in the Bay Area Observer and post notice at City Hall in conformance with legal requirements.
- The City Council public hearing will be held in the City Council Chamber at City Hall (604 W. Fairmont Parkway). At the meeting, the City Council will conduct a public hearing and render a decision on the proposed zone change. However, if additional information is requested by the City Council, the public hearing may be continued to a future meeting date.
- The following is an excerpt from the City of La Porte's Code of Ordinances pertaining to zone change requests.

CODE REQUIREMENTS

Rezoning Requests

Sec. 106-171. - Amendment procedures.

The city council may from time to time, on its own motion, the motion of the planning and zoning commission, or on petition, amend, supplement, change, modify or repeal the regulations, restrictions, and boundaries herein established.

- (1) *Public hearing before the city planning and zoning commission.* Before taking any action on any proposed amendment, supplement, change, or modification, the city council shall submit the same to the city planning and zoning commission which shall make a preliminary report and hold a public hearing thereon before submitting its final report to the city council.
- (2) *Notice of public hearing before city planning and zoning commission.*
 - a. Written notice of all public hearings before the city planning and zoning commission on proposed changes in classification shall be sent to owners of real property lying within 300 feet of the property on which the change in classification is proposed as well as the La Porte Independent School District, such notice to be given not less than ten days before the date set for hearing, to all owners who have rendered their said property for city taxes as the ownership appears on the last approved city tax roll. Such notice may be served by depositing the same, properly addressed and postage paid, in the city post office. At least 15 days notice of the time and place of such hearing shall be published once in a newspaper of general circulation in the city.
 - b. Requirements for public notice by sign posting:
 1. Public notice for procedures requiring public notice by sign posting shall be provided by the city at least 15 days before the public hearing.
 2. The applicant shall place public notice sign on the property within 20 feet of the abutting street.
 3. The sign shall be clearly visible, readable, and not to create hazard to traffic on the public right-of-way abutting the property.
 4. Public notice sign shall include the date, time, place, and purpose of public hearing.
 5. The applicant must return the sign to the city within ten days after the appeal period for the public hearing has ended.
 6. The erection of this sign shall not require a permit from the city.



Zone Change Application

Planning and Development Department

- (3) *Publication of notice.* In the event a public hearing shall be held by the city planning and zoning commission in regard to a change of this chapter not involving particular property but involving a change in the chapter generally, notice of such hearing shall be given by publication once in a newspaper of general circulation in the city stating the time and place of such hearing, which time shall not be earlier than 15 days from the day of such publication.
- (4) *Submission of findings and recommendations to city council.* The city planning and zoning commission shall forward its written findings of fact and recommendations to city council within 15 days of the close of the hearings.
- (5) *Public hearing before city council.*
 - a. Upon receipt of the written recommendations from the planning and zoning commission, a public hearing shall be held by the city council before adopting any proposed amendment, supplement, change, modification or repeal of the regulations, restrictions, and boundaries herein established.
 - b. Notice of such hearing shall be given by publication once in a newspaper of general circulation on the city stating the time and place of such hearing, which time shall not be earlier than 15 days from the day of such publication.
- (6) *Council actions.* The city council shall act upon such motion or petition within 60 days from the date the final report of the city planning and zoning commission was submitted to the city council.
- (7) *Protests.*
 - a. In case of a protest against any such amendment, supplement, change, or repeal of the regulations, restrictions, and boundaries herein established, a written protest filed with the enforcement officer and signed by the owners of 20 percent or more of either:
 1. The area of lots or land covered by the proposed change; or
 2. The area of lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

Such amendment, supplement, change, modification, or repeal shall not become effective except by the favorable vote of three-fourths of all the members of the city council.
 3. Streets and alleys shall be included when computing the area of land from which a protest may be filed.
- (8) *Vote to overrule.* The affirmative vote of at least three-fourths of the city council is required to overrule a recommendation of the city planning and zoning commission that a proposed change to this chapter or boundary be denied.



Zone Change Application

Planning and Development Department

PROJECT INFORMATION

Address where zone change is being requested: 11811 N H street, La Porte TX 77571
Legal description where zone change is being requested: Tract 241C La Porte Outlots
HCAD Parcel Number where zone change is being requested: 0231360000241
Zoning District: commercial Lot area: 0.618 acres
A request for approval of a zone change is hereby made to the City of La Porte.
Description of Request: commercial to residential

Attached hereto is a Project Description Letter describing the project and outlining the reasons why such SCUP should be approved.

PROPERTY OWNER(S) INFORMATION

Name: Karen Gonzalez, Juan de Dios Villarreal
Company (if applicable): Synergy 7 LLC
Address: 7321 Hinsdale dr
City: Pasadena TX State: TX Zip: 77505
Phone: 832-673-8402 Email: jddvillarreal@yahoo.com

AUTHORIZED AGENT (If other than owner)

Name: _____
Company (if applicable): _____
Address: _____
City: _____ State: _____ Zip: _____
Phone: _____ Email: _____

OWNER(S) & AGENT CERTIFICATION

I hereby depose and state under the penalties of perjury that all statements, proposals and/or plans submitted with/or contained in this application are true and correct and the application is complete to the best of my knowledge and belief.

Agent's Signature: _____ Date: _____
Owner(s)' Signature(s): Karen Gonzalez Date: 8-12-2024

STAFF USE ONLY:

Case Number: _____

Date Application Received: _____



NOTICE OF POSTING
PLANNING AND ZONING COMMISSION PUBLIC HEARING

The undersigned has acknowledged that a sign will be placed on the property based on information provided in this application, and that the applicant will ensure compliance with all requirements have been met and will continue to be met for the duration of the sign posting:

1. A public hearing sign will be posted by the City of La Porte’s Planning and Development Department staff at least ten (10) days prior to the scheduled meeting date. I hereby attest that said sign will be posted on the following described property, which is subject to the application:

ADDRESS: 11811 W H street, La Porte TX

LEGAL DESCRIPTION: Tract 241C La Porte Outlots

2. Said sign will be placed on the property within 20 feet of the abutting street.
3. Said sign shall remain legible and visible for the entire ten (10) day posting period. If the sign fails to be visible at any point during the ten (10) day posting period, the Public Hearing will be postponed to the next available meeting date.
4. If said sign is damaged or missing, it is my duty to contact the City of La Porte’s Planning and Development Department for a replacement sign. Staff are not responsible to inspect and confirm the status of the posted sign.
5. Said sign will be picked up by City staff upon completion of the Public Hearing.

Karen Gonzalez
Applicant’s Printed Name

Karen Gonzalez
Applicant’s Signature and Date

To Whom it May Concern,

The property located at 11811 N H Street was contracted for purchase in late 2023 and officially purchased by Juan and I in April 2024. At that time, we confirmed with Harris County that the property was zoned for residential use, and we received a title insurance policy upon closing and funding, which stated that the title was completely free and clear and confirmed its residential zoning.

Shortly after acquiring the lot, we submitted our residential building plans to the City of La Porte Building Department. The plans were approved without any mention of zoning issues, so naturally we proceeded with construction. However, during one of the regular inspections, a city inspector noticed the property's close proximity to Sens Road, a main street. Upon further investigation, City personnel informed us that the property falls within the commercial zoning layout of the La Porte zoning map.

To align the zoning with Harris County records, we respectfully request that the property be rezoned to residential. This request is supported by the presence of neighboring residential homes and the substantial investment of time, effort, and funds we have already committed to building this house. As local real estate entrepreneurs, we are deeply invested in the quality of our construction projects and in contributing to the improvement of the City of La Porte. There is significant demand for quality homes on large residential lots (which is proven furthermore by the fact that we have already received offers to purchase this subject property) and Juan and I are eager to meet this need, increase tax revenue, and promote generational wealth in the city of La Porte through residential real estate.

- Karen Gonzalez and Juan de Dios Villarreal

By the way, should anyone reading this letter be in need of a new house, please do not hesitate to give us a call ;)

CONSTRUCTION PLANS FOR PROPOSED ALLISON RESIDENTIAL PLAN LOT 241, 242 NORTH H STREET LA PORTE, TX



SHEET INDEX:

1. COVER PAGE
2. ELEVATIONS PLAN
3. ELEVATIONS PLAN
4. FLOOR PLAN
5. FOUNDATION PLAN
6. FOUNDATION NOTES
7. CEILING JOISTS PLAN
8. JOISTS NOTES
9. RAFTERS PLAN
10. ROOF FRAMING NOTES
11. GENERAL FRAMING NOTES
12. ELECTRICAL PLAN
13. HVAC PLAN
14. PLUMBING PLAN
15. SITE PLAN

NUMBER	DATE	REVISION	DESCRIPTION

COVER
PAGE

PLAN: ALLISON
LOT 241, 242 NORTH H
STREET
LA PORTE, TX

DRAWINGS PROVIDED BY:
WILL TO DESIGN
PHONE: 932-544-3902
EMAIL: WILLTODESIGN@GICLOUD.COM
WEB: WILLTODESIGN.COM

DATE:

5/5/2024

SCALE:

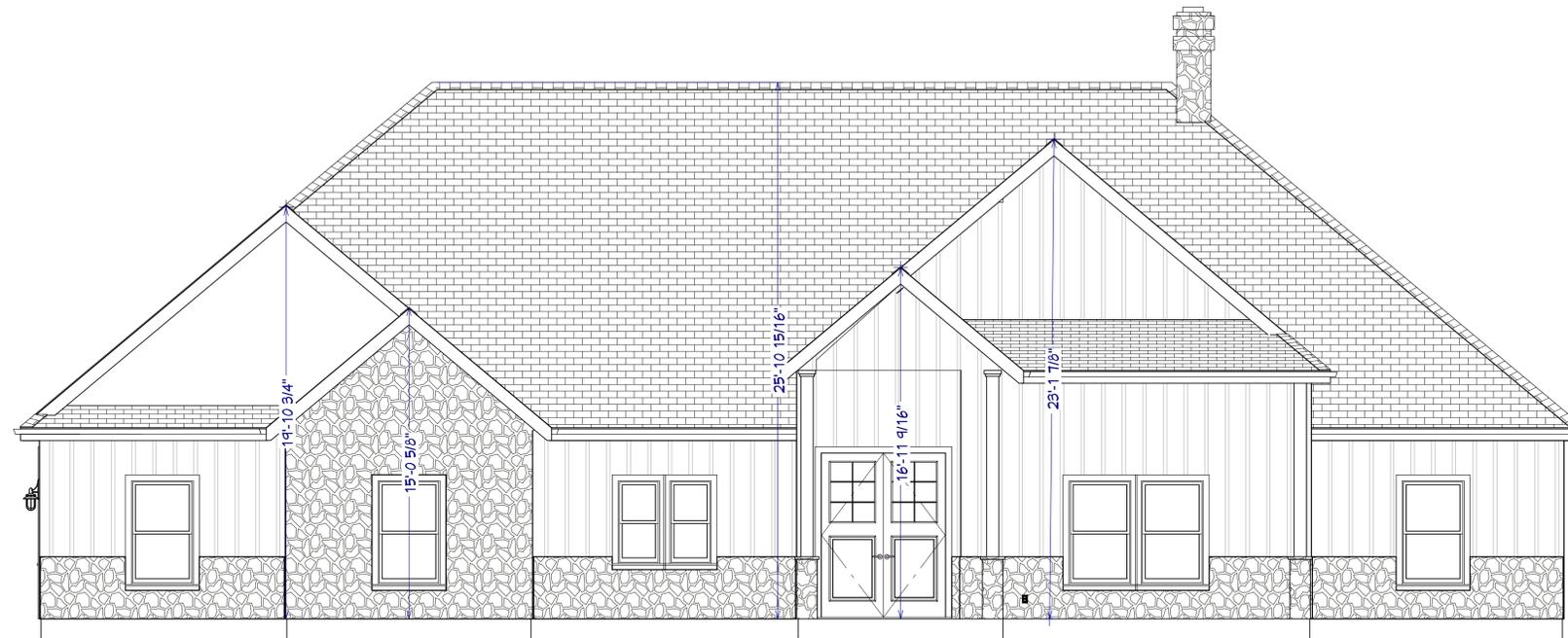
N.T.S.

SHEET:

1



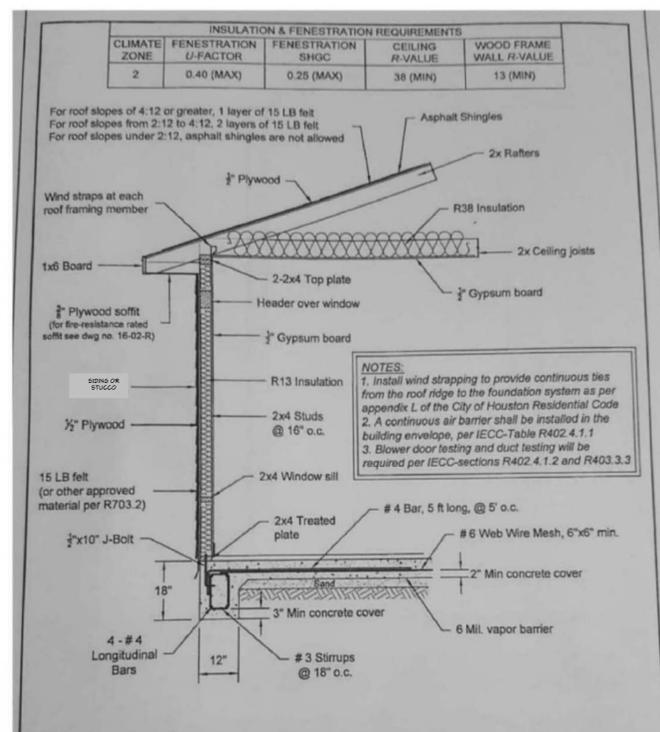
NUMBER	DATE	REVISION	DESCRIPTION



Exterior Elevation Front



Exterior Elevation Back



ELEVATIONS
PLAN

PLAN: ALLISON
LOT 241, 242 NORTH H
STREET
LA PORTE, TX

DRAWINGS PROVIDED BY:
WILL TO DESIGN
PHONE: 932-544-3902
EMAIL: WILLTODESIGN@GICLOUD.COM
WEB: WILLTODESIGN

DATE:
5/5/2024

SCALE:
1/4" = 1'

SHEET:
2



NUMBER	DATE	REVISION	DESCRIPTION

FLOOR PLAN

**PLAN: ALLISON
LOT 241, 242 NORTH H
STREET
LA PORTE, TX**

DRAWINGS PROVIDED BY:
WILL TO DESIGN
PHONE: 832-544-3902
EMAIL: WILLTODESIGN@GMAIL.COM
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1/4" = 1'

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4

Floor Plan Notes

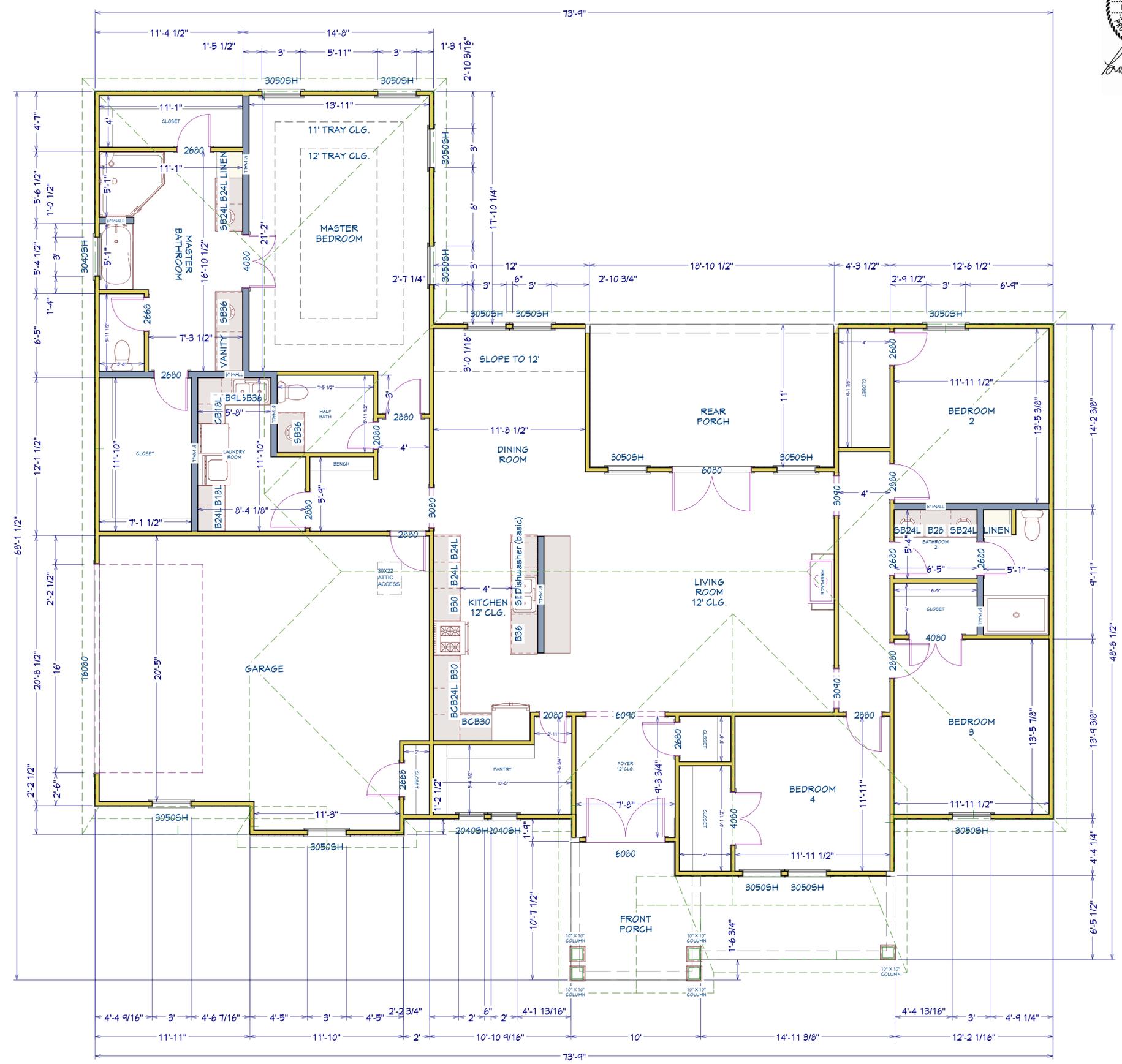
ALL ANGLES TO BE 45 DEGREES.
CARPET FLOORS. (REFER TO FLOOR PLAN)
SHEETROCK WALLS AND CEILINGS (ENCLOSE UNDERSIDE OF STAIRWALL W/ 5/8" FIRECODE TYPE "X" SHEETROCK).

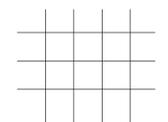
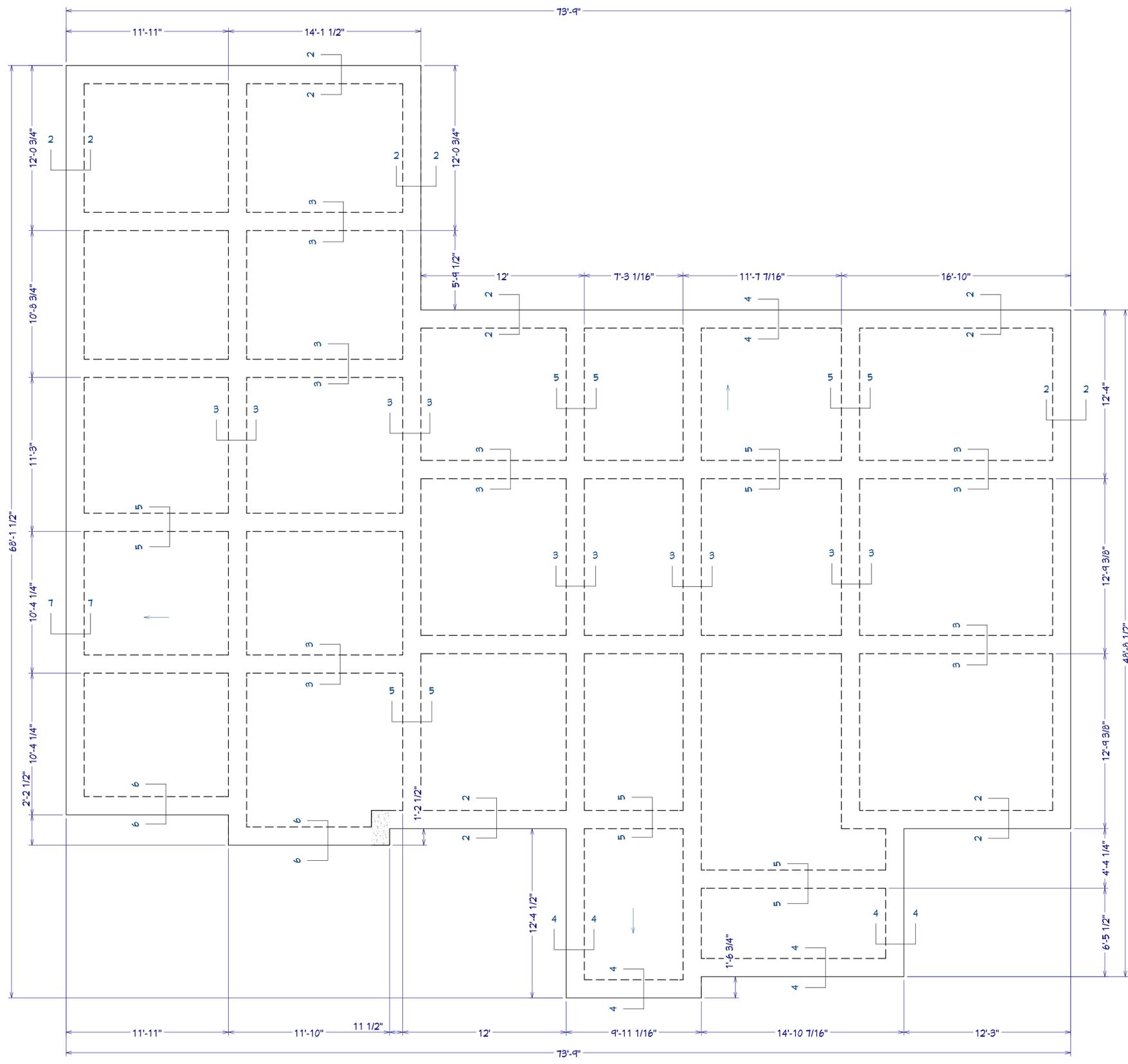
1-3/8" 6-PANEL INTERIOR DOORS, 6'-8" HEIGHT TYP.
1-3/4" SOLID CORE EXTERIOR DOORS.
SMOKE DETECTORS REQUIRE 110V. CONNECTION TO HOUSE WIRING.
LOCATE WATER HEATER IN ATTIC ABOVE LOAD BEARING PARTN IN METAL PAN WITH DRAIN LINE TO OUTSIDE. COMPLY WITH SBC REQUIREMENTS (SEE ATTACHED DETAIL).
ALL FRAMING MATERIAL TO BE #2 KD 15 SOUTHERN YELLOW PINE.
ALL STUDS TO BE STUD GRADE FIR.
ALL BEAMS TO BE #2 KD SYP.
1-1/8" EMCX PLYWOOD SUBFLOOR WITH PANEL SPAN RATING OF 48/24" O.C.
ALL EXTERIOR WALLS AND MAIN PARTITIONS (LOAD BEARING) SHALL BE EFFECTIVELY BRACED AT EACH END, OR AS NEAR THERE TO AS POSSIBLE AND AT LEAST 25'-0" OF LENGTH AS SPECIFIED IN SBC.
YIELD STRENGTH OF STEEL TO BE MINIMUM 36 K.S.I.
BEDROOM WINDOWS TO HAVE 5.7. SQUARE FEET NET FREE AREA WITH 20" WIDE AND 24" HIGH MINIMUM CLEAR OPENINGS, MAXIMUM 44" ABOVE FINISHED FLOOR.
PROVIDE 2-2X4 VERTICAL SUPPORT MIN. UNDER EACH END OF ALL STRUCTURAL BEAMS AND HEADERS GREATER THAN 5'-0".
DOUBLE FLOOR JOIST UNDER PARALLEL WALLS ABOVE.
SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH SBC.
ALL HEADER BEAMS TO BE 2-2X12 (#2) AT FIRST FLOOR. HEADERS AS SCHEDULED AT SECOND FLOOR.
WHEN GAS IS USED IN UTILITY ROOM PROVIDE COMBUSTION AND DRYING AIR (LOUVERED DOOR).
UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MFR'S INSTALLATION INSTRUCTION OR APPROVED BY BUILDING OFFICIAL, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZ AND VERT LENGTH OF 10 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEG ELBOW IN EXCESS OF TWO.
ATTIC ACCESSES ARE PROVIDED ON PLAN TO SERVICE MECHANICAL EQUIPMENT ONLY.
IF GAS IS USED AT COOKTOP, INSTALL PER W.U.P. SPECIFICATIONS.
PROVIDE DOUBLE SOLE PLATES THROUGHOUT FIRST FLOOR OF HOUSE.
PROVIDE SAFETY GLASS IN ALL FRENCH DOORS.
ROUTE FLOOR DRAIN PIPING IN UTILITY ROOM TO STORM SEWER, AND NOT TO SANITARY SEWER.
NO PLASTIC PIPING SHALL BE USED FOR WATER PRESSURE PIPING.

SHEETROCK ENTIRE STRUCTURE W/ 5/8" FIRECODE GYPSUM WALLBOARD "TYPE X".
ALL WALLS 10' OR HIGHER TO BE Laterally BLOCKED.
ALL MECHANICAL EXHAUSTS SHALL TERMINATE @ EXTERIOR OF BUILDING.

ALL CEILING HEIGHTS TO BE 10'
UNLESS NOTED OTHERWISE.

GARAGE - 530'
FRONT PORCH - 196'
REAR PORCH - 205'
LIVING - 2,485'
TOTAL SQUARE FOOTAGE - 3,416'





#3 REBAR TO BE PLACED EVERY 16" O.C. THROUGHOUT ENTIRE NEW SLAB.

NEW SLAB BEAMS TO BE 12" X 24".



NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

FOUNDATION PLAN

PLAN: ALLISON
 LOT 241, 242 NORTH H
 STREET
 LA PORTE, TX

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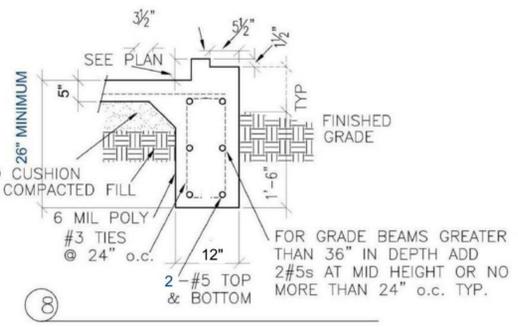
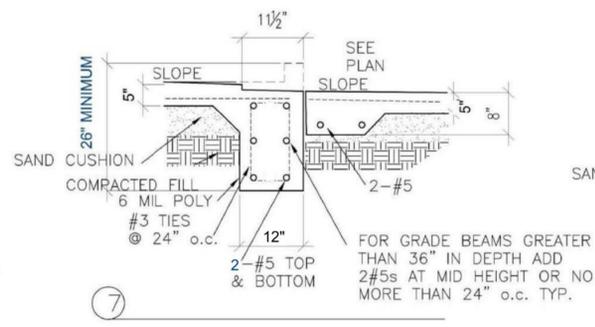
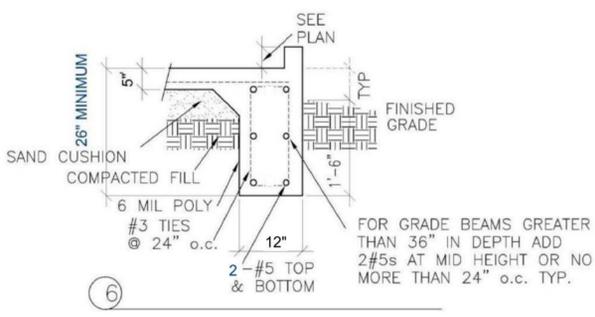
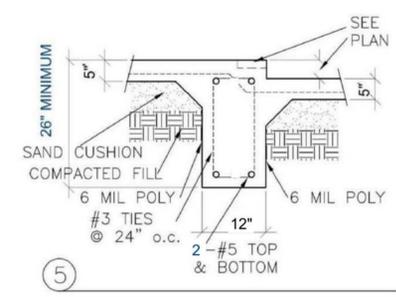
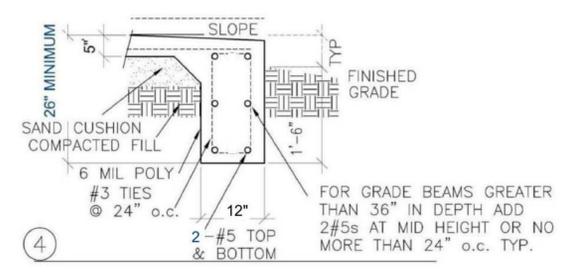
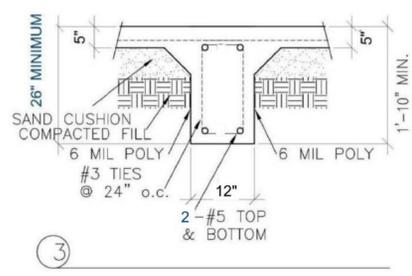
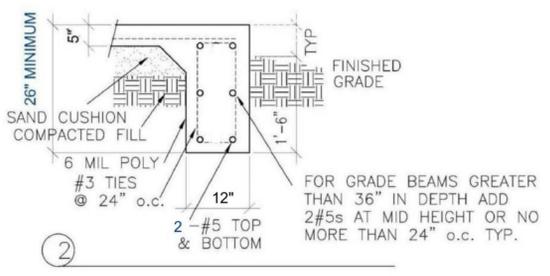
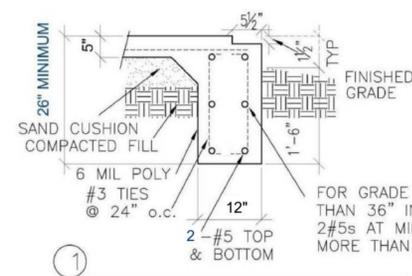
REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

FOUNDATION NOTES

**PLAN: ALLISON
LOT 241, 242 NORTH H
STREET
LA PORTE, TX**

DRAWINGS PROVIDED BY:
WILL TO DESIGN
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EMAIL: WILLTODESIGN@GMAIL.COM
WEB: WILLTODESIGN.COM

DATE:	5/3/2024
SCALE:	N.T.S.
SHEET:	6



GENERAL NOTES - SITEWORK

- Site preparation beneath the slab shall be in accordance with the soil report recommendations and shall meet the following minimum requirements:
 - Strip all vegetation down to natural soil. Remove all trees within a close proximity of the foundation
 - Where foundation is located in a heavy treed area, remove top layer of all organic decomposing material out of slab area.
 - Backfill and properly compact tree-holes or soft pockets with material similar to the site materials.
 - Bring sub-grade to required elevation with select fill material, which shall consist of sandy clay, or clayey sand, free of organic material, and having a plasticity index greater than 7 but less than 20
 - Fill soil shall be placed in 8" maximum lifts and compacted to 95% of its maximum dry density as determined by ASTM D698 (standard Proctor).
- Where large depths of fill occur, field density test are required for each lift located at or below the bottom of the slab.
- A 4" leveling bed shall be of firm stable bank sand or other clean granular material
- Final grading shall slope away to produce positive drainage away from the foundation with a minimum of 1 inch per foot for the first 5 feet.
- Prior to pouring of the concrete, a drainage ditch shall be constructed as to insure that any water which intrudes into the foundation make up, will immediately drain out of the bottom of the beams into this ditch.
- If a soil report containing foundation design recommendations was supplied for this project, the soil report shall control.

GENERAL NOTES - ADVERSE WEATHER CONDITIONS

- During cold weather conditions, stressing shall take place between 10 and 14 days after placement.
- Concrete shall not be placed at temperatures below 40 degrees Fahrenheit, in rainy weather or in other adverse weather conditions.
- The foundation should not be installed during a dry or wet period, which is considered extreme or abnormal for the area. If such condition occur, the builder shall notify the engineer prior to trenching for a possible re-design.

GENERAL NOTES - REINFORCING STEEL

- Reinforcing steel shall be per ASTM A615 Grade 60 with deformations per ASTM A305.
- #3- 12" O.C. MAT per ASTM A185. Shall be installed 2 inches below the top of concrete.
- Reinforcing bars shall be over lapped a distance 30 times the bar diameter.
- Where reinforcing steel is shown in the exterior grade beams, provide corner bars in the outside face to match the horizontal steel from the interior and exterior grade beams, or bends bars around corners and lap as per note #3 above.
- Provide 2-#4 x 4'-0" long bars 2 inches below the top of concrete at all re-entrant corners.

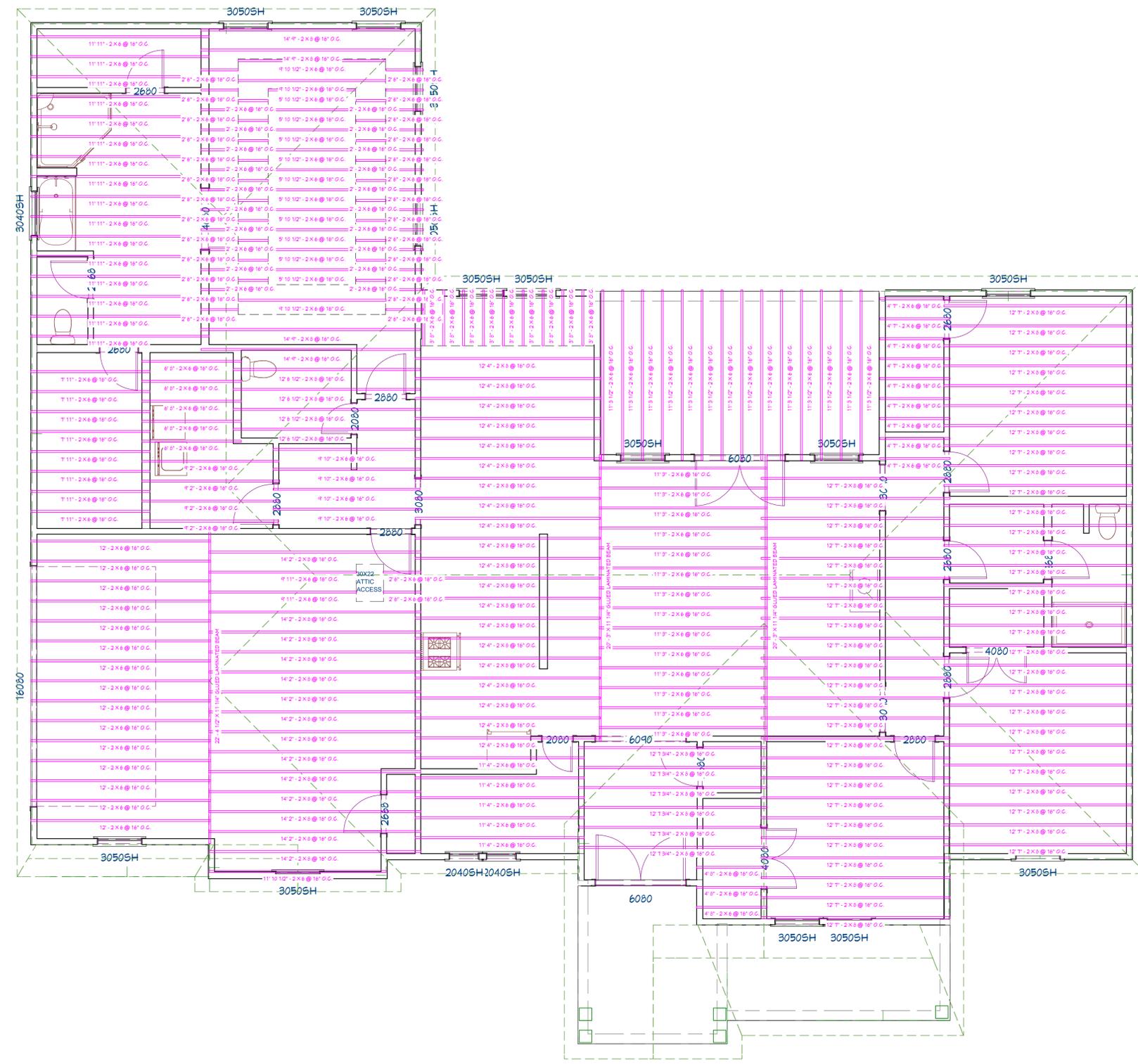
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 - Bring sub-grade to required elevation with select fill material, which shall consist of sandy clay, or clayey sand, free of organic material, and having a plasticity index greater than 7 but less than 20
 - Fill soil shall be placed in 8" maximum lifts and compacted to 95% of its maximum dry density as determined by ASTM D698 (standard Proctor).
- Where large depths of fill occur, field density test are required for each lift located at or below the bottom of the slab.
- A 4" leveling bed shall be of firm stable bank sand or other clean granular material
- Final grading shall slope away to produce positive drainage away from the foundation with a minimum of 1 inch per foot for the first 5 feet.
- Prior to pouring of the concrete, a drainage ditch shall be constructed as to insure that any water which intrudes into the foundation make up, will immediately drain out of the bottom of the beams into this ditch.
- If a soil report containing foundation design recommendations was supplied for this project, the soil report shall control.

SLAB MUST BE 3,000 PSI.



NUMBER	DATE	REVISION	DESCRIPTION



**CEILING JOISTS
PLAN**

**PLAN: ALLISON
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STREET
LA PORTE, TX**

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SCALE:

1/4" = 1'

SHEET:

7

GRADES

ROOF RAFTERS.....NO. 2 SOUTHERN YELLOW PINE (SYP), KD, S4S
 CEILING AND FLOOR JOISTS.....NO. 2 SOUTHERN YELLOW PINE (SYP), KD, S4S
 BEAMS & HEADERS.....NO. 2 SOUTHERN YELLOW PINE (SYP), KD, S4S
 STUDS.....STUD GRADE, SYP, KD, S4S
 WOOD POSTS.....NO. 2 SYP, SURFACE GREEN

BEAMS AND HEADERS

- AT BEAMS MADE UP A NUMBER OF 2X JOIST, EACH JOIST WILL BEAR ON A WALL STUD (I.E. NUMBER OF WALL STUDS SHALL MATCH THE NUMBER OF JOISTS BEARING ON THESE STUDS). THE CENTERLINE OF THE BEAM SHALL BE THE CENTERLINE OF SUPPORTING WALL STUDS.
- ALL BEAMS MADE UP OF A NUMBER OF 2X JOISTS SHALL BE FASTENED AS FOLLOWS:
 FOR THE MAXIMUM HORIZONTAL SPACING OF BOLTS:
 2-2X12 16d NAILS @ 12" TOP AND BOTTOM, STAGGER, EA. FACE
 3-2X12 20d NAILS @ 12" TOP AND BOTTOM, STAGGER, EA. FACE
 4-2X12+ 3/4" BOLTS @ 12" TOP AND BOTTOM, STAGGER, (W/ STD. WASHERS).
 BOLTS SHALL BE 3/4" DIA. LOCATED 2" MINIMUM FROM BEAM EDGES AND SHALL BE STAGGERED IN TOP AND BOTTOM ROWS. PROVIDE STANDARD WASHERS @ EACH FACE.
- ALL DOOR AND WINDOW HEADERS (OR HEADERS AT ANY OTHER OPENINGS) THAT ARE NOT SPECIFIED ON PLANS SHALL BE AS FOLLOWS:
 FLOOR FRAMING: 2-2X12
 CEILING FRAMING: 2-2X8

JOISTS

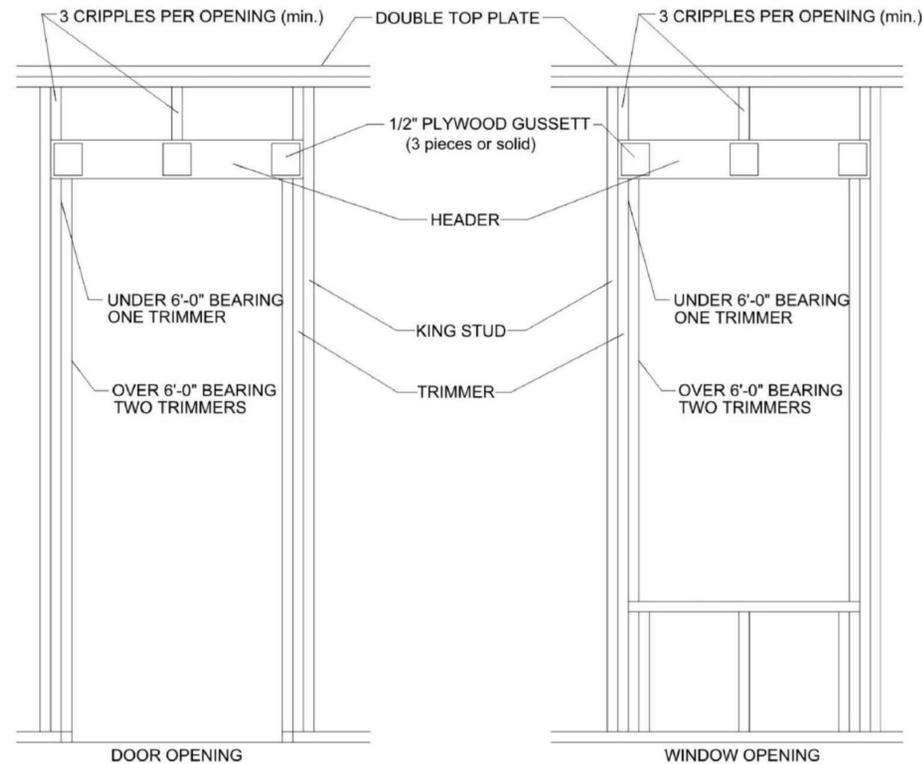
- JOISTS BLOCKING
 - JOISTS SHALL BE LATERALLY SUPPORTED AT EACH END AND AT EACH SUPPORT BY SOLID BLOCKING EXCEPT WHERE THE END OF JOISTS ARE NAILED INTO A HEADER, BAND OR RIM JOISTS OR TO AN ADJOINING STUD. SOLID BLOCKING SHALL NO BE LESS THAN 2" IN THICKNESS AND SHALL MATCH THE DEPTH OF THE JOISTS.
 - PROVIDE SOLID BLOCKING UNDER THE BEARING WALLS PERPENDICULAR TO THE DIRECTION OF THE JOISTS.
- JOISTS BRIDGING
 - PROVIDE BRIDGING AT ALL FLOOR JOISTS AT SPACING NOT TO EXCEED 8'-0".
- JOISTS HOLES AND NOTCHES
 - NOTCHES IN TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED (1/6) THE JOISTS DEPTH AND SHALL NOT BE LOCATED WITHIN MIDDLE THIRD OF THE SPAN.
 - HOLES SHALL NOT BE CLOSER THAN 2" TO TOP OR BOTTOM OF JOIST, THE DIAMETER OF ANY HOLE SHALL NOT EXCEED (1/4).

NONCOMBUSTIBLE, NONCORROSIVE LINTELS AND NONCOMBUSTIBLE SUPPORTS SHALL BE PROVIDED OVER ALL OPENINGS WHERE THE VENEER UNIT IS NOT SELF-SPANNING. (SEC. 3006 b AT GARAGE)

MAX. SPAN	MIN. SIZE	MIN. BEARING
5'-0"	L3 1/2" x 3 1/2" x 5/16"	8"
7'-0"	L4" x 3 1/2" x 5/16"	8"
8'-0"	L5" x 3 1/2" x 3/8"	8"
9'-0"	L5" x 3 1/2" x 3/8"	9"
10'-0"	L6" x 3 1/2" x 3/8"	10"

STUD WALLS

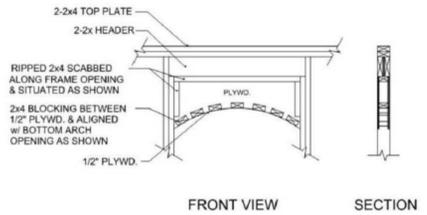
- STUD SHALL BE AS FOLLOWS:
 2X4 @ 16"
 DBL 2X4 OR 2X8 @ 16"
- PROVIDE A MINIMUM OF TWO (2) STUDS AT EACH SIDE OF OPENINGS LARGER THAN 4'-0" FULL HEIGHT OF WALL (KING STUDS)
- MAXIMUM STUD WALL HEIGHT SHALL BE AS FOLLOWS:
 2X4 STUDS @ 16" O.C. 10'-0"
 2X6 STUDS @ 16" O.C. 13'-0"
 2X8 STUDS @ 16" O.C. 16'-0"
- BLOCKING AND LATERAL BRACING
 - PROVIDE BLOCKING AND/OR TEMPORARY CROSS BRACING AS REQD TO ENSURE STUD STRAIGHTNESS ACCORDING SPECIFIED TOLERANCES.
 - MAXIMUM TOLERANCE FOR STUD STRAIGHTNESS IN EITHER DIRECTION IS 1/4" PER 10' OF STUD HEIGHT.
 - MAXIMUM BLOCKING:
 1 ROW FOR STUD HEIGHT UP TO 9'-0"
 2 ROWS FOR STUD HEIGHT UP TO 15'-0"
 3 ROWS FOR STUD HEIGHT OVER 15'-0"



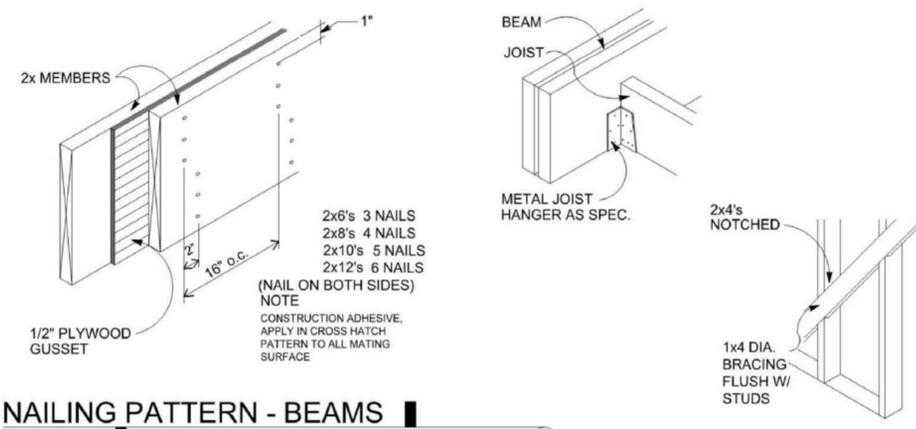
FRAME OPENING DETAIL
 SCALE: N.T.S.

NOTES:

- MULTIPLE LUMBER HEADERS SHALL BE CONSTRUCTED WITH A 1/2" THICK, OSB/ PLYWOOD SPACER BETWEEN MEMBERS. MEMBERS SHALL BE NAILED TOGETHER USING 16D NAILS AT 12" O.C. TOP AND BOTTOM (STAGGERED).
- HEADERS SHALL HAVE 1 TRIM STUD AND 1 KING POST U.N.O.
- HEADERS SHALL HAVE 2 TRIM STUDS AND 1 KING POST U.N.O.
- ALL HEADERS SPECIFIED AS ENGINEERED BEAMS SHALL HAVE 2 TRIM STUDS AND 1 KING POST U.N.O.



ARCHED ENTRY DETAIL
 SCALE: 3/16" = 1'-0"



NAILING PATTERN - BEAMS
 SCALE: 1/4" = 1'-0"



NUMBER	DATE	REVISION	DESCRIPTION

JOISTS NOTES

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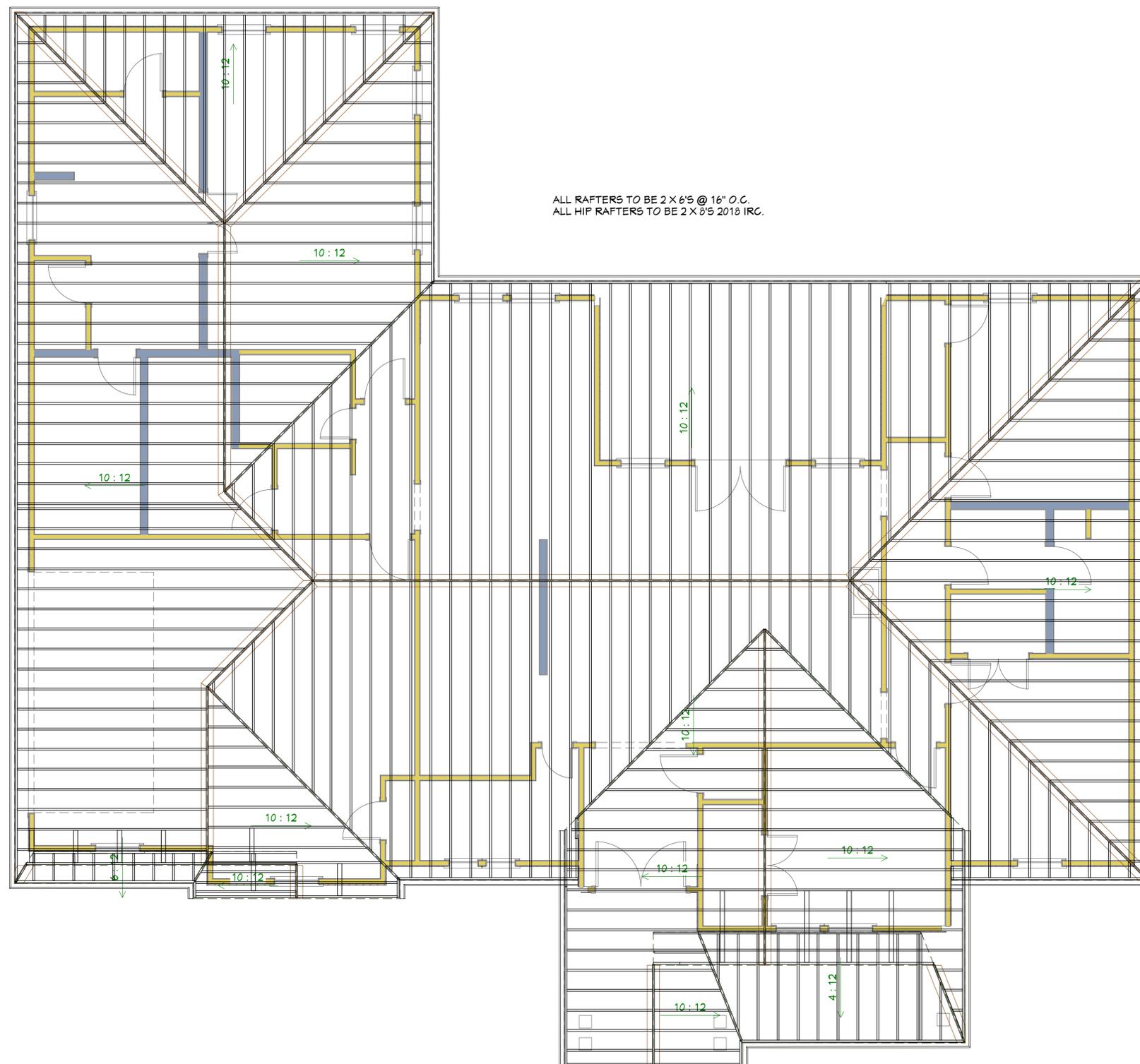
SHEET:
 8



Larry Deavers
FIRM# F-16777
05/09/2024



REVISION TABLE	
NUMBER	DATE



ALL RAFTERS TO BE 2 X 6'S @ 16" O.C.
ALL HIP RAFTERS TO BE 2 X 8'S 2018 IRC.

RAFTERS
PLAN

PLAN: ALLISON
LOT 241, 242 NORTH H
STREET
LA PORTE, TX

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9



NUMBER	DATE	REVISION	DESCRIPTION

ROOF FRAMING NOTES

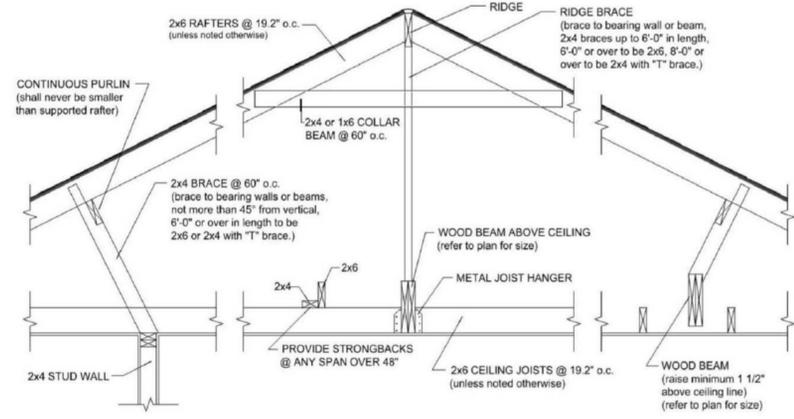
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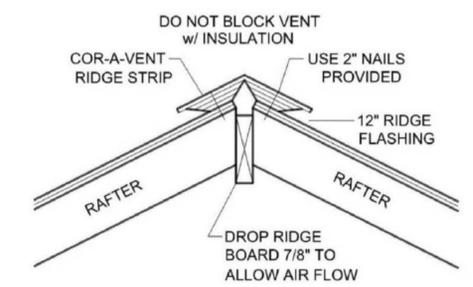
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SHEET:
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ROOF FRAMING NOTES:

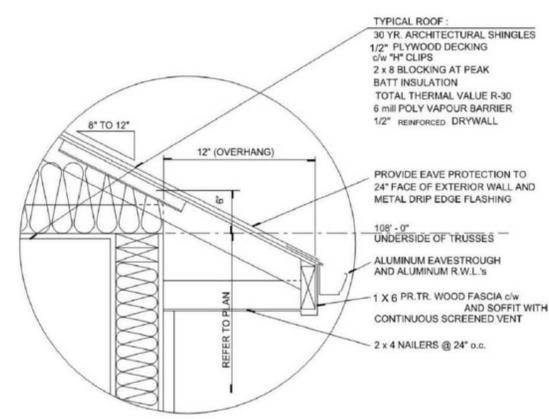
- ALL RAFTERS SHOWN TO BE 2 X 6 AT 16" O.C., UNLESS OTHERWISE NOTED.
- RIDGES, HIPS AND VALLEY RAFTERS TO BE ONE SIZE LARGER THAN RAFTERS. (I.E. 2X8).
- ALL FRAMING MATERIALS TO BE #2 K.D. SO. YELLOW PINE.
- MAXIMUM UNSUPPORTED RAFTER SPAN FOR 2 X 6 IS 11'-0".
- BRACE ROOF WITH 2 X 4 BRACES AT 48" O.C. WITH CONTINUOUS 2 X 6 PURLINS.
- PROVIDE 2 X 6 COLLAR BEAMS AT 48" O.C. IN UPPER 1/3RD OF ROOF.
- 1/2" CDX PLYWOOD DECKING WITH PANEL SPAN RATING OF 32/16.
- SEE ELEVATIONS FOR ROOF SLOPES AND OVERHANGS.
- APPLY CRICKETS TO ROOF DECKING.
- DOUBLE FRAMING AROUND THE CHIMNEY OPENINGS AND ANY SKYLIGHT.
- RAKES TO BE 8" FROM EXTERIOR WALL.
- ANY OUTLOOKERS TO BE 2 X 4 AT 16" O.C.
- ANY KICKOUTS TO BE 2 X 6 AT 16" O.C., SEE ELEVATIONS FOR SLOPE.



RIDGE FRAMING DETAIL
SCALE: N.T.S.



RIDGE VENT (TYP.)
SCALE: N.T.S.



ROOF OVERHANG
SCALE: N.T.S.

ROOF FRAMING NOTES

1. RAFTERS - SYP #2
2. TYP. RAFTER - 2x6 @ 16" O.C. U.N.O.
3. TYP SHEATHING - 1/2" CDX 32/16 APA RATED W/ 8d @ 6" EDGES & 12" FIELD
4. ALL HIPS, RIDGES, AND VALLEYS SHALL BE ONE SIZE LARGER THAN RAFTER SIZE (U.N.O.)
5. DL = 10 PSF LL = 20 PSF

VALLEY BRACE NOTES

TYPICAL INDICATION FOR 2x4 VALLEY BRACE TO BEAM OR WALL BELOW

OVERLAY FRAMING NOTES

TYPICAL INDICATION FOR OVERLAY FRAMING. BRACE RAFTERS TO OVERLAY FRAMING BELOW WITH 2x4 STRUTS @ 32" O.C. EA. WAY.

ROOF PURLIN NOTES

TYPICAL INDICATION FOR CONT. 2x6 PURLIN W/ 2x4 BRACES @ 48" O.C. TO BEAM OR WALL BELOW

RAFTER HURRICANE TIES

CONNECT ALTERNATE RAFTERS TO SUPPORTS WITH SIMPSON H2.5 HURRICANE TIES. ALIGN OPPOSING RAFTERS @ RIDGE AND CONNECT ALTERNATE RAFTERS W/ SIMPSON LSTA STRAP TIE AND 10-10d NAILS (5 EACH SIDE OF RIDGE).

NOTES

- 1) UWA = UNDER WALL ABOVE
- 2) USE A 3" STD PIPE W/ 1/4" STEEL PL SADDLE. OMIT SADDLE IF STEEL BEAM OPTION IS USED. SEE DETAIL 1
- 3) ALL 1ST FLOOR STUD WALLS SUPPORTING FLOOR TO BE 2 X 6'S @ 16" O.C.

NOTE
PROVIDE 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING OR STRAPPING

General

1. THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2018 IRC).
2. WALLS SHALL BE BRACED AS REQUIRED UNTIL CONSTRUCTION OF WOOD FRAMING IS COMPLETE.
3. INTERIOR OR EXTERIOR SHEAR WALLS SHALL BE COMPLETED AS SOON AS FRAMING IS ERECTED AND PRIOR TO INSTALLING ROOF AND WALL SHEATHING.
4. THE DESIGN LOADS ARE CODE RECOMMENDED AS FOLLOWS:
LIVE DEAD
ROOF 20 PSF 15 PSF (20 PSF W/ICE)
FLOOR 40 PSF 10 PSF (25 PSF W/ICE)
STAIRS 40 PSF 10 PSF
CEILING 20 PSF 10 PSF
BALCONIES 60 PSF 10 PSF (25 PSF W/ICE)
CONCRETE
5. CONTRACTOR SHALL VERIFY ALL DROPS, OFFSETS, BLOCKOUTS, BRICK LEDGES, AND DIMENSIONS WITH ARCHITECTURAL PLANS PRIOR TO PROJECT LAUNCH.
6. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS AND TO THE PREVAILING EDITION OF THE BUILDING CODE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH ANY WORK.
8. FRAMING LAYOUTS ARE PROVIDED TO REPRESENT DESIGN CONCEPTS AND SYSTEMS CONSTRUCTION.

Parallel Strand (PSL) and Glulam Lumber (GLB)

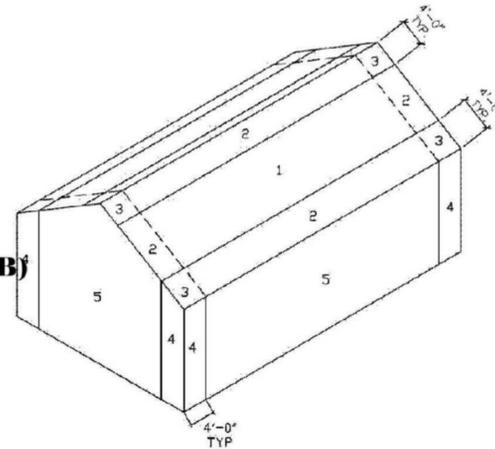
1. PARALLEL STRAND (PSL) AND GLULAM LUMBER (GLB) SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) AND SHALL BE MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN NATIONAL STANDARD ANSI/APA/TIC 110.1 (STRUCTURAL GLUED LAMINATED TIMBER).
2. LVL (MICROLAM) AND PSL (PARALLEL STRAND) BEAMS SHALL BE MANUFACTURED BY TRUS JOIST.
- 2.1. LVL BEAMS SHALL HAVE A MINIMUM FB OF 2800 PSI AND A MINIMUM E OF 1900 KSI.
- 2.2. PSL BEAMS SHALL HAVE A MINIMUM FB OF 2900 PSI AND A MINIMUM E OF 200 KSI.
3. ANY ANTHONY POWER BEAMS MANUFACTURED BY ANTHONY FOREST PRODUCTS SHALL HAVE A MINIMUM FB OF 3000 PSI AND A MINIMUM E OF 2100 KSI.
4. HEEL CUTS ON BEAMS MUST NOT OVERHANG INSIDE FACE OF SUPPORT MEMBER. ALL HEEL CUTS SHALL BE MADE PER THE BEAM MANUFACTURER'S LIMITATION.
5. NO NOTCHING OF BEAMS IS PERMITTED WITHOUT WRITTEN PERMISSION OF ENGINEER.

Wind, Connectors, Strapping, & Anchors

1. FRAMING HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2018 IRC AND ASCE7-05 CODE FOR A BASIC WIND DESIGN SPEED OF 150 MPH (3 SEC GUST), CATEGORY 2, EXPOSURE B, IMPORTANCE FACTOR 1.
2. PROVIDE A CONTINUOUS TIE FROM FOUNDATION TO ROOF RIDGE AS SHOWN IN THE DETAILS NOTED ON THIS SHEET. CLIPS SHALL BE SIMPSON TYPE OR EQUAL. HOLDDOWNS, STRAPS, AND HURRICANE CLIPS SHALL BE INSTALLED ACCORDING TO SIZE AND SPACING SHOWN. THESE PLANS AND DETAILS ALTERNATES SHALL BE SUBMITTED TO ENGINEER FOR REVIEW.
- 2.1. DETAIL 17/88: SILL BOLTS SHALL BE 5/8" DIAMETER WITH 7" MINIMUM EMBEDMENT INTO FOUNDATION. ANCHORS SHALL BE SPACED AT 48" ON CENTER MAXIMUM. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE SECTION WITH A BOLT LOCATED NOT MORE THAN 12" FROM EACH END OF PLATE. FASTEN ANCHOR BOLTS TO ALL SOLE PLATES WITH NUT AND WASHER.
- 2.2. DETAIL 13/88: CONNECT FRAMING MEMBERS AT EXTERIOR WALLS FROM SILL PLATE TO ROOF RAFTER AS SHOWN.
- 2.3. DETAIL 10/88: STRAP OVER RIDGE MEMBER AT RAFTERS AT 32" ON CENTER WITH SIMPSON LSTA24.
- 2.4. DETAIL 17/88: PROVIDE SIMPSON STRHD14 FASTENED TO DOUBLE (2) STUD PACK, SET A MIN. OF 1 1/2" FROM CONCRETE EDGE & EMBEDDED 14" INTO FOUNDATION IN LOCATIONS SHOWN.
- 2.5. DETAIL 21/88: ANCHOR ALL COLUMN CAPS AND BASES AS INDICATED.
3. BOTH ROOF AND FLOOR DECKINGS SHALL BE FASTENED PER THE SCHEDULE BELOW BUT NOT LESS THAN 100 NAILS AT A MINIMUM OF 6" O.C. AT ALL EDGES & 12" O.C. IN THE FIELD. ALL FLOOR DECKS SHALL BE GLED AND SCREWED TO JOIST PER APA/AWPA GUIDELINES.
4. PROVIDE BLOCKING AT ALL SHEATHING AND MEMBER WHERE INDICATED AS PER HOLD DOWN ANCHOR BOLTS SCHEDULE. PROVIDE (1) HOLD DOWN ANCHOR AS NOTED ON PLAN. SEE HOLD DOWN ANCHOR SCHEDULE ON SHEARWALL DETAIL SHEET. ALL HOLD DOWN ANCHORS SHALL BE SIMPSON OR EQUAL.

Framing Notes

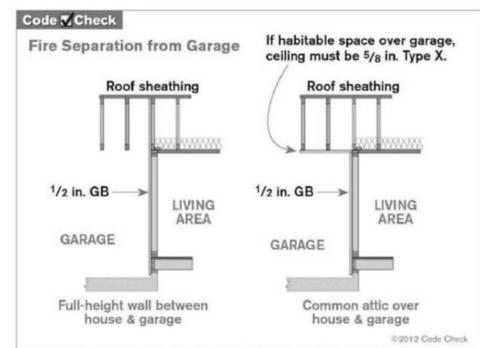
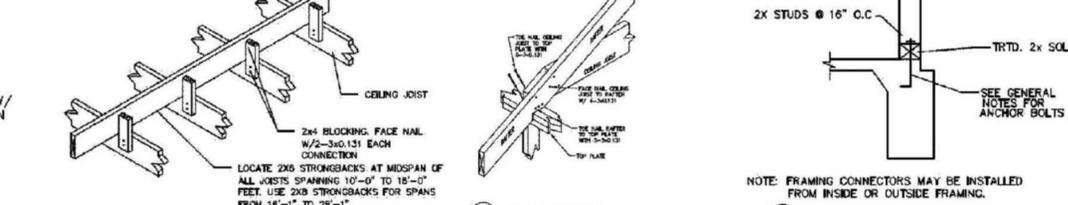
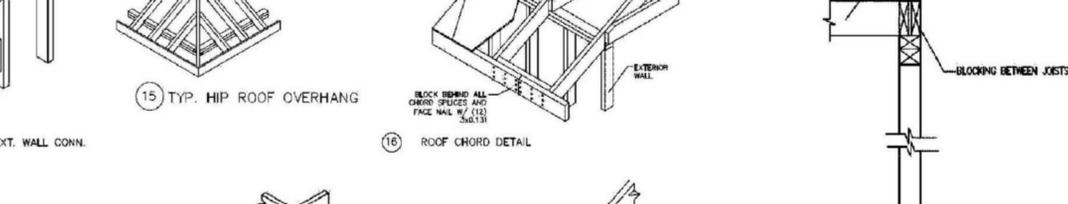
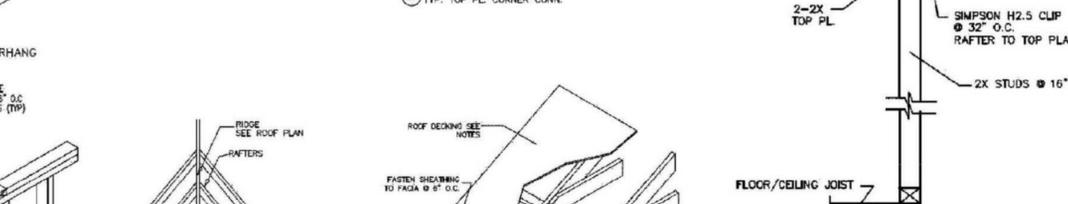
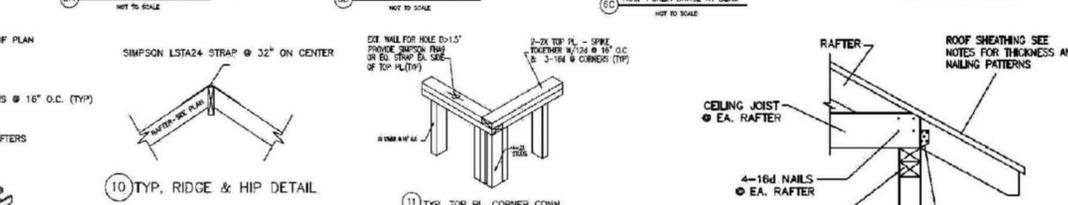
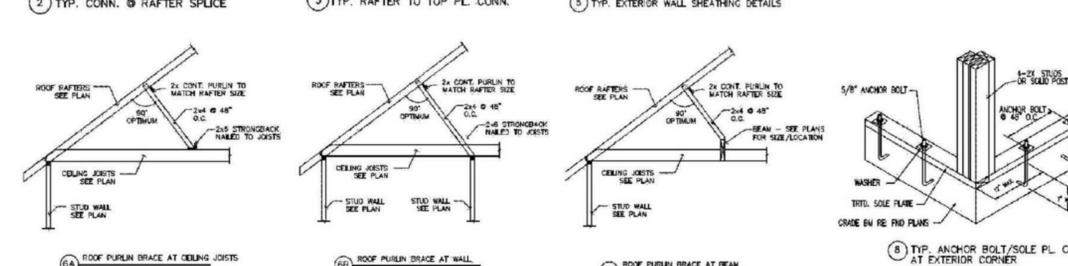
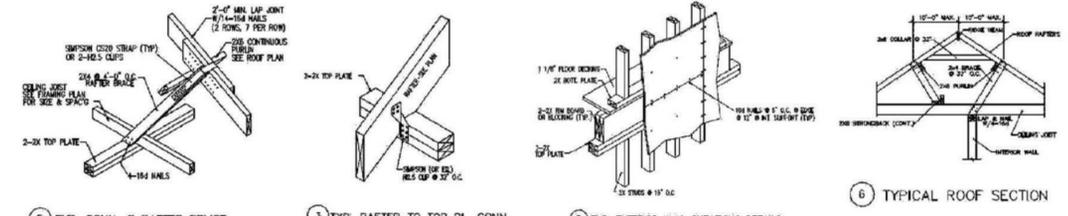
1. UNLESS NOTED OTHERWISE, ALL STRUCTURAL FRAMING LUMBER SHALL BE CLEARLY MARKED NO. 2 SOUTHERN YELLOW PINE.
2. ALL WOOD MEMBERS EXPOSED TO WEATHER SHALL BE TREATED IN ACCORDANCE WITH AWPA STANDARD U1 TO THE REQUIREMENTS OF USE CATEGORY 4 (UC4) OR HIGHER.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR TEMPERATURE AND HUMIDITY OR LOCATED WITHIN EIGHTEEN INCHES (18") OF GROUND SHALL BE TREATED IN ACCORDANCE WITH AWPA STANDARD U1 TO THE REQUIREMENTS OF USE CATEGORY 3 (UC3) OR HIGHER.
4. PLACE A SINGLE BORATE PRESSURE TREATED #2 SOUTHERN YELLOW PINE (SYP) WOOD PLATE AT THE BOTTOM OF ALL WALLS.
5. ATTACH ALL SILL PLATES TO FOUNDATION WITH:
 - 5.1. ANCHOR BOLTS SHALL BE 5/8" DIAMETER WITH 7" MINIMUM EMBEDMENT INTO FOUNDATION.
 - 5.2. ANCHOR BOLTS SHALL BE SPACED AT 48" ON CENTER MAXIMUM.
 - 5.3. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE SECTION.
 - 5.4. A BOLT SHALL BE LOCATED NOT MORE THAN 12" FROM EACH END OF THE PLATE.
 - 5.5. SEE PLAN FOR ADDITIONAL ANCHORAGES AND LOCATIONS WITH SIMPSON STRONG-TIE STD14 PER DETAIL 17/88.
6. ALL WOOD STUD WALLS SHALL BE FULL HEIGHT WITHOUT INTERMEDIATE PLATE LINE UNLESS DETAILED OTHERWISE.
7. PLACE A DOUBLE SYP PLATE AT THE TOP OF ALL STUD WALLS. SPLICES IN THE TOP PLATES SHALL BE STAGGERED AND OCCUR OVER STUDS.
8. PROVIDE MINIMUM OF 2 STUDS AT WALL CORNERS AND ON EACH SIDE OF FRAMED OPENINGS.
9. PLYWOOD FLOOR DECKING:
 - 9.1. DECKING FOR INTERIOR FLOORS SHALL BE 1 1/8" THICK, TONGUE & GROOVE APA RATED STURD-I-FLOOR WITH A PANEL SPAN RATING OF 48/24. INSTALL DECKING WITH FACE GRAIN PERPENDICULAR TO SUPPORT, FASTEN WITH NAILS OR SCREWS AND ADHESIVE MANUFACTURER'S REQUIREMENTS.
 - 9.2. PER APA GUIDELINES, INSTALL FLOOR DECKING WITH A CONTINUOUS BEAD OF ADHESIVE ALONG ALL SUPPORTS AND NAIL WITH 10D (3 1/4" LONG, 0.143" SHANK DIAMETER) RING SHANK NAILS (OR EQUAL DECK SCREWS) AT 6" O.C. AT ALL SUPPORTED EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS AND 3" FROM EACH CORNER.
 - 9.3. PROVIDE 1/8" SPACING AT ALL PANEL ENDS AND EDGES.
10. PLYWOOD ROOF DECKING:
 - 10.1. SHALL BE 15/32" APA RATED SHEATHING EXPOSURE 1 WITH A PANEL SPAN RATING OF 32/16. PROVIDE 1/8" SPACING AT ALL PANEL ENDS AND EDGES.
11. PLYWOOD WALL SHEATHING:
 - 11.1. SHALL BE 15/32" APA RATED SHEATHING EXPOSURE 1 WITH A PANEL SPAN RATING OF 32/16. PANELS SHALL SPAN FROM TOP PLATE TO BOTTOM PLATE. PROVIDE 2X BLOCKING AS REQUIRED TO SUPPORT ALL PANEL EDGES. PROVIDE 1/8" SPACING AT ALL PANEL ENDS AND EDGES.
12. ALL EXTERIOR PLYWOOD BOTH ROOF AND WALL SHEATHING SHALL BE FASTENED PER THE SCHEDULE ON THIS SHEET BUT NOT LESS THAN 100 NAILS AT A MINIMUM OF 6" O.C. AT ALL EDGES & 12" O.C. IN THE FIELD.
13. ALL MEMBERS FRAMING INTO THE SIDE OF A BEAM OR HEADER SHALL BE ATTACHED USING SIMPSON METAL JOIST HANGERS SIZED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION FOR THE SIZE OF THE JOIST OR BEAM SUPPORTED.
14. NAILING AND ATTACHMENT OF FRAMING MEMBERS SHALL BE AS SPECIFIED IN THE INTERNATIONAL RESIDENTIAL CODE (OR OTHER CODE HAVING JURISDICTION) WOOD FRAMING FASTENER SCHEDULE UNLESS A MORE SUBSTANTIAL CONNECTION IS NOTED ON THE DRAWINGS.
15. COMMON NAILS OR BOX NAILS OR DECK SCREWS SHALL BE USED FOR ALL FRAMING UNLESS NOTED OTHERWISE.
16. GALVANIZED NAILS ARE REQUIRED AT ALL EXTERIOR EXPOSURES.
17. ALL FASTENERS IN CONTACT WITH TREATED LUMBER SHALL MEET CODE REQUIREMENTS FOR CHEMICAL CONTACT.
18. CONTRACTOR SHALL COORDINATE SPACING OF WOOD FRAMING WHERE APPROPRIATE TO AVOID CUTTING AND NOTCHING TO ACCOMMODATE PLUMBING, CONDUIT, ETC. WHERE CUTTING, NOTCHING, OR BORING OF WOOD FRAMING MEMBERS IS REQUIRED, DO NOT EXCEED CODE OR MATERIAL SPECIFICATION ALLOWABLE FOR THE FOLLOWING WITHOUT NOTIFYING THE ENGINEER:
 - 18.1. NO NOTCHES SHALL BE CUT IN JOISTS, BEAMS, LOAD-BEARING WALL STUDS OR EXTERIOR WALL STUDS.
 - 18.2. HOLES BORED IN JOISTS, BEAMS OR STUDS SHALL BE ENTIRELY LOCATED WITHIN THE MIDDLE 1/3 OF THEIR DEPTH AND SHALL NOT EXCEED 1/4 OF THEIR DEPTH.
 - 18.3. ALL BOLTS AND LAG SCREWS SHALL HAVE STANDARD WASHERS.
 - 18.4. ALL SPRUCE PINE FIR (SPF) STUDS MUST BE CLEARLY MARKED AS "SPF STUD" WITH A MAXIMUM MOISTURE CONTENT OF 19% BY AN AGENCY THAT IS CERTIFIED TO GRADE IN ACCORDANCE WITH WESTERN WOOD PRODUCTS ASSOCIATION (WWPA) RULES.
 - 18.5. SPF STUDS SHALL HAVE A MINIMUM FB OF 675 PSI AND MINIMUM FMC PARALLEL OF 600 PSI.



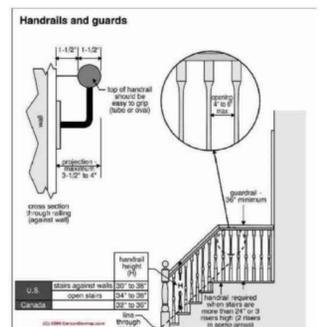
ZONE	LOCATION	SIZE	SPACING
1	FIELD	1/4" COMMON	8"
2	PANEL EDGE	1/4" COMMON	6"
3	FIELD	1/4" COMMON	8"
4	PANEL EDGE	1/4" COMMON	6"
5	FIELD	1/4" COMMON	8"
6	PANEL EDGE	1/4" COMMON	6"

- NOTES:
1. MINIMUM PENETRATION IN FRAMING IS 1 1/2".
 2. ALL SHEATHING NAILS ARE 100 COMMON MEASUREMENTS LONG X 0.143" DIAMETER.

1 NAILING SCHEDULES



Code Check



Handrails and guards

STAIRS & HAND RAILS TO BE 2018 IRC.



REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

GENERAL FRAMING NOTES

PLAN: ALLISON
LOT 241, 242 NORTH H STREET
LA PORTE, TX

DRAWINGS PROVIDED BY:
WILL TO DESIGN
PHONE: 932-544-3902
EMAIL: WILLTODESIGN@GMAIL.COM
WEB: WILLTODESIGN.COM



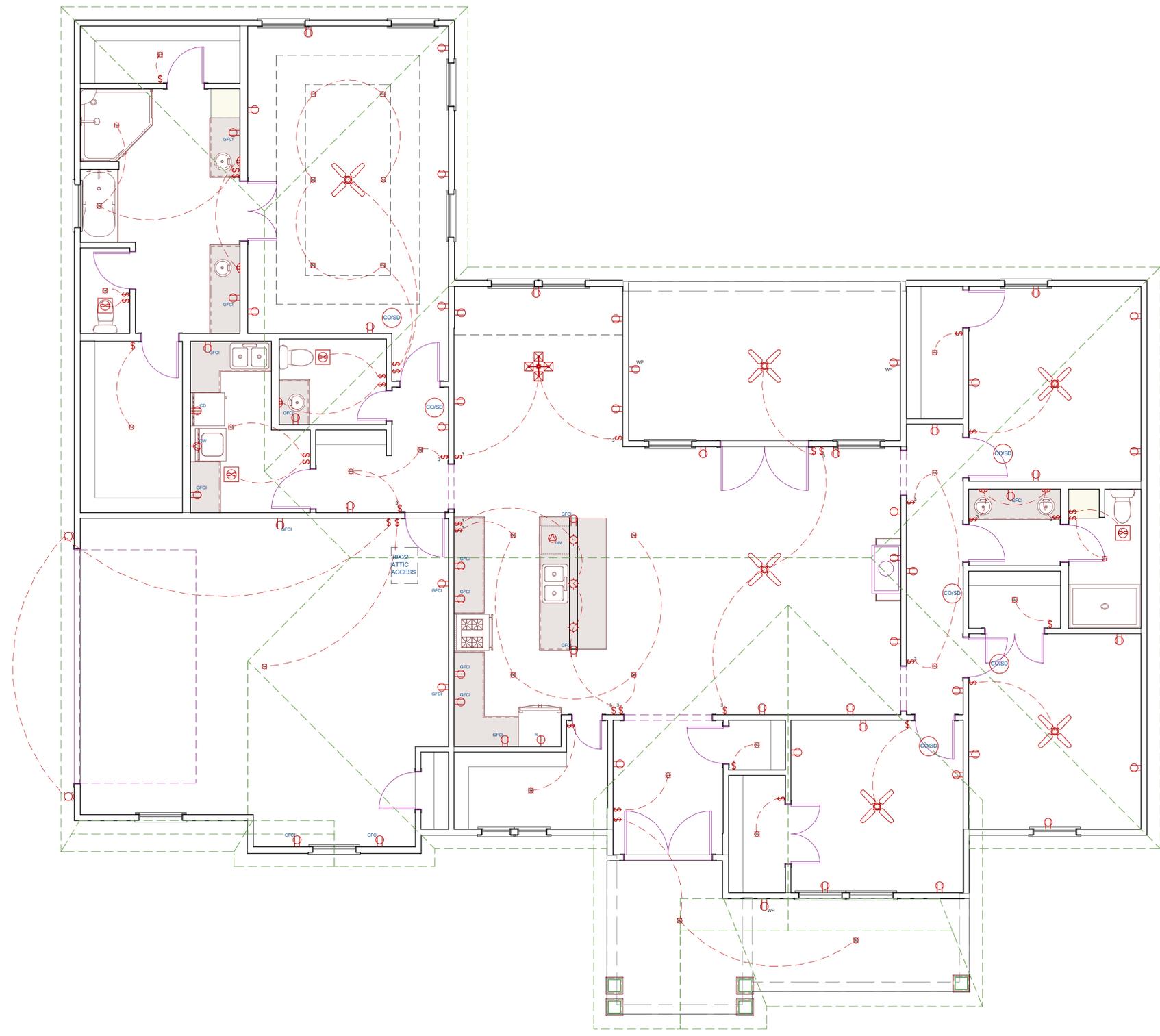
DATE: 5/3/2024
SCALE: N.T.S.
SHEET: 11



Larry Deavers
 FIRM# F-16777
 05/09/2024



NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION



ELECTRICAL - DATA - AUDIO LEGEND	
DESCRIPTION	SYMBOL
Ceiling Fan	
Ventilation Fans: Ceiling Mounted, Wall Mounted	
Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage	
Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce	
Chandelier Light Fixture	
Fluorescent Light Fixture	
240V Receptacle	
110V Receptacles: Duplex, Weather Proof, GFCI	
Switches: Single Pole, Weather Proof, 3-Way, 4-Way	
Switches: Dimmer, Timer	
Audio Video: Control Panel, Switch	
Speakers: Ceiling Mounted, Wall Mounted	
Wall Jacks: CAT5, CAT5 + TV, TV/Cable	
Telephone Jack	
Intercom	
Thermostat	
Door Chime, Door Bell Button	
Smoke Detectors: Ceiling Mounted, Wall Mounted	
Electrical Breaker Panel	

SMOKE DETECTORS & CARBON DETECTORS COMBINATION ALARM.

EXHAUST FAN

SMOKE DETECTORS & CARBON DETECTORS TO BE HARD WIRED & BATTERY OPERATED.
 ALL ELECTRICAL TO BE DONE BY 2020 N.E.C. CODE.
 NOTE = GFCI ON KITCHEN, BATHROOMS, & GARAGE.
 EXHAUST FANS TO BE IN EVERY BATHROOM.

ELECTRICAL PLAN

PLAN: ALLISON
 LOT 241, 242 NORTH H STREET
 LA PORTE, TX

DRAWINGS PROVIDED BY:
 WILL TO DESIGN
 PHONE: 932-544-3902
 EMAIL: WILLTODESIGN@GICLOUD.COM
 WEB: WILLTODESIGN.COM

DATE:

5/5/2024

SCALE:

1/4" = 1'

SHEET:

12



Larry Deavers
 LICENSED PROFESSIONAL ENGINEER
 FIRM# F-16777
 05/09/2024



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

PLUMBING PLAN

PLAN: ALLISON
 LOT 241, 242 NORTH H STREET
 LA PORTE, TX

DRAWINGS PROVIDED BY:
 WILL TO DESIGN
 PHONE: 932-544-3902
 EMAIL: WILLTODESIGN@GICLOUD.COM
 WEB: WILLTODESIGN

DATE:

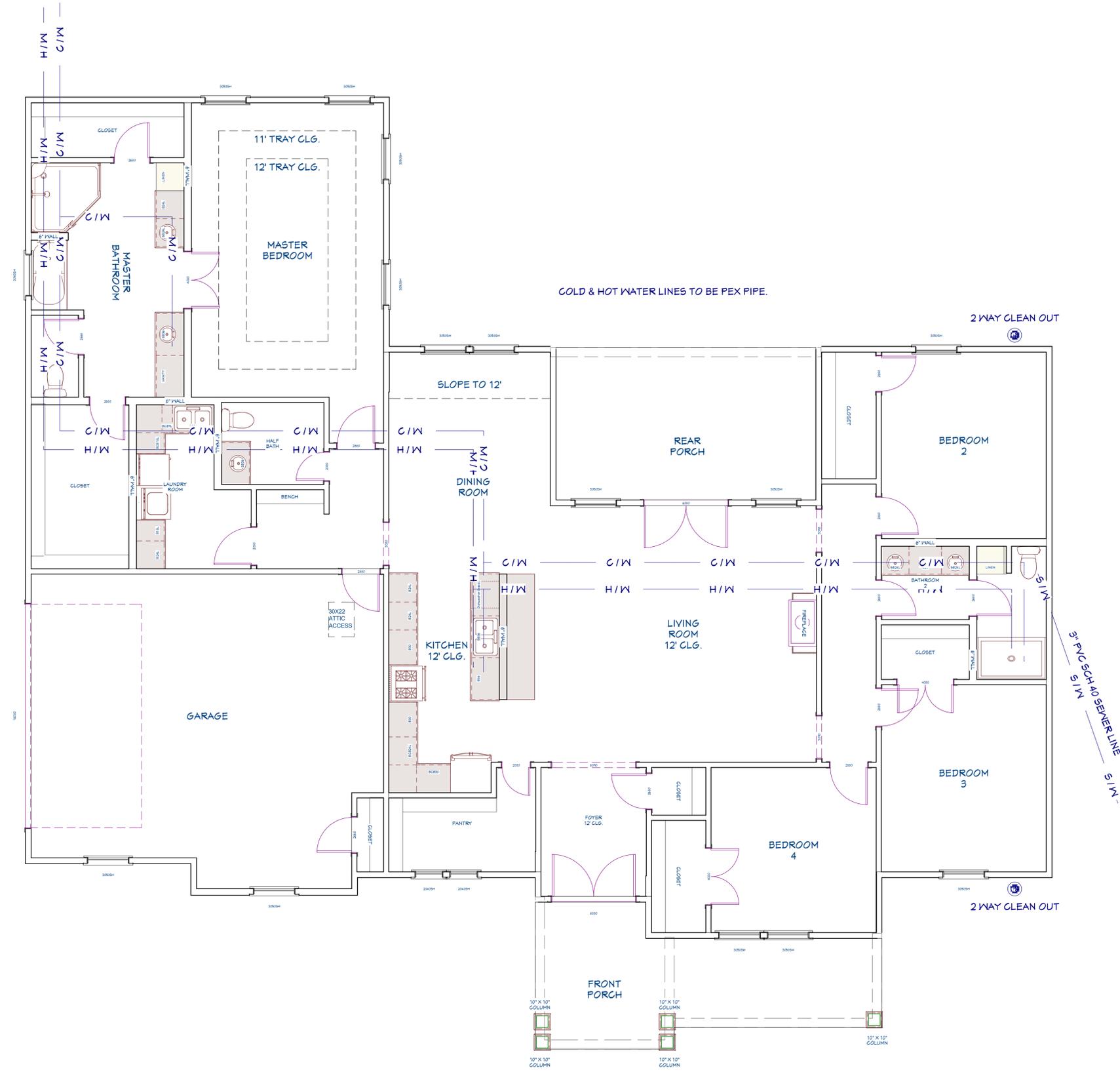
5/5/2024

SCALE:

1/4" = 1'

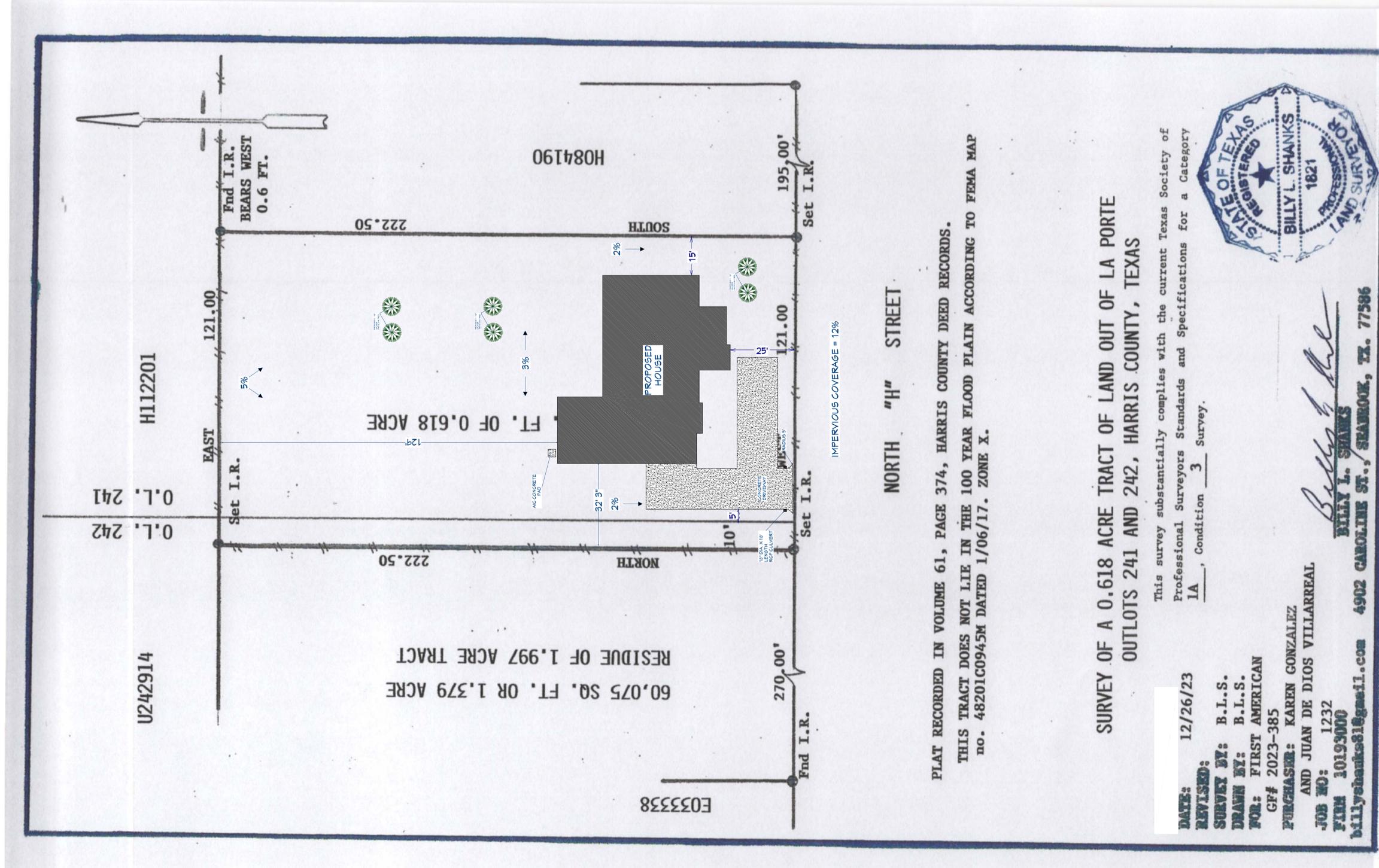
SHEET:

14



ALL CEILING HEIGHTS TO BE 10'
 UNLESS NOTED OTHERWISE.

GARAGE - 530'
 FRONT PORCH - 196'
 REAR PORCH - 205'
 LIVING - 2,485'
 TOTAL SQUARE FOOTAGE - 3,416'



PLAT RECORDED IN VOLUME 61, PAGE 374, HARRIS COUNTY DEED RECORDS.
 THIS TRACT DOES NOT LIE IN THE 100 YEAR FLOOD PLAIN ACCORDING TO FEMA MAP NO. 48201C0945M DATED 1/06/17. ZONE X.

SURVEY OF A 0.618 ACRE TRACT OF LAND OUT OF LA PORTE OUTLOTS 241 AND 242, HARRIS COUNTY, TEXAS

This survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition 3 Survey.

DATE: 12/26/23
 REVISED:
 SURVEY BY: B.L.S.
 DRAWN BY: B.L.S.
 FOR: FIRST AMERICAN
 GF# 2023-385
 PURCHASER: KAREN GONZALEZ
 AND JUAN DE DIOS VILLARREAL
 JOB NO: 1232
 FIRM 10193000
 billyshanks31@gmail.com



Billy L. Shanks
BILLY L. SHANKS
 4902 CAROLINE ST., SEABROOK, TX. 77586

281-808-4789



DRAWINGS PROVIDED BY:
 WILL TO DESIGN
 PHONE: 832-544-3402
 EMAIL: WILLTODESIGN@GICLOUD.COM
 WEB: WILLTODESIGN

DATE: 5/8/2024
 SCALE: 1" = 20'
 SHEET: 15

PLAN: ALLISON
 LOT 241, 242 NORTH H
 STREET
 LA PORTE, TX

SITE
 PLAN

NUMBER	DATE	REVISION	DESCRIPTION



**City of La Porte, Texas
Planning and Zoning Commission**



AGENDA ITEM #5.d

Special Conditional Use Permit #SCUP-2024-0005

A request is being made by Bassam Khoury, applicant, on behalf of Texas Properties Khoury & Turk LLC, owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the General Commercial (GC) zoning district, on a 0.40-acre tract of land, located at 1307 W Fairmont Pkwy., and legally described as Lots 4 thru 7 & Tracts 8A & 25A thru 30A Block 1097 & Adjacent Alley La Porte, Harris County, Texas.

Planning and Development Department Staff Report

REQUEST

Consider a recommendation to the La Porte City Council to approve a Special Conditional Use Permit (SCUP) to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the General Commercial (GC) zoning district, on a 0.40-acre tract of land, located at 1307 W Fairmont Pkwy., and legally described as Lots 4 thru 7 & Tracts 8A & 25A thru 30A Block 1097 & Adjacent Alley La Porte, Harris County, Texas, Harris County, Texas.

DISCUSSION

Location:

The subject property is a 0.40-acre tract of land, located at 1307 W Fairmont Pkwy.

Background Information:

The subject property is developed with a single building including approximately 7,395 square feet, which currently houses a host of uses including restaurants, a bank, and a vacant suite which was formerly occupied by a medical office in which the applicant proposes to locate a Tobacco and Smokers' Supply store. According to the National American Industry Classification System (NAICS), a Tobacco and Smokers' Supply store is defined as an establishment primarily engaged in retailing cigarettes, cigars, tobacco, pipes, and other smokers' supplies.

According to City records, there are seven (7) active tobacco stores in La Porte. One of which is located in the same shopping center on an adjacent property. Their location and approximate distances from the subject property, based on Google are listed below:

1. Vapor Sense located at 1309 W. Fairmont Parkway, Suite B: 500 ft.
2. Tobacco Shop located at 913 S. Broadway Street: 1 mile
3. Sylvan Vape located at 1131 S. Broadway Street: 1 mile
4. Vape World - 3151 S. Broadway Street: 2.8 miles
5. Buzzers located at 1444 Sens Road: 3.4 miles
6. Vape and More located at 9901 Spencer Highway, Suite G: 4 miles
7. Smocking located at 8610 Spencer Highway: 5.4 miles

There are six (6) La Porte Independent School District (LPISD) schools within two (2) miles of the proposed site. The closest LPISD schools and approximate distances from the subject property, based on Google are listed below:

1. La Porte Headstart Center located at 927 S 1st St.: 0.75 mile
2. La Porte High School located at 301 E Fairmont Pkwy.: 1.1 miles
3. La Porte Elementary School located at 725 S Broadway St.: 1.3 miles
4. La Porte Junior High School located at 401 S Broadway St.: 1.4 miles
5. Bayshore Elementary School located at 800 McCabe Rd.: 1.9 miles
6. La Porte Academy of Viola Dewalt High School (Alternative School) located at 401 N 2nd St.: 1.9 miles

Zoning

The subject property is zoned General Commercial (GC). Exhibit B illustrates the zoning districts and land uses of the subject property and surrounding properties. The following table summarizes surrounding zoning districts and land uses.

	Zoning	Land Use
North	General Commercial (GC)	Kroger
South	General Commercial (GC)	Retail strip center
West	General Commercial (GC)	Amegy Bank
East	General Commercial (GC)	Burger King

Notification Requirements:

Staff finds that the public hearing notification requirements outlined in Section 106-171 were performed in accordance with code provisions, including the following: notice in a newspaper of general circulation at least 15 days prior to the hearing; written notice mailed to owners of real property within 300 feet of the site within 10 days of the hearing; and one (1) sign was posted in the area within 15 days of the hearing. In accordance with state law, notice of the public hearing was also posted at City Hall and on the City’s website.

Analysis:

There are a number of different considerations staff evaluated during the review of this application. The following describes staff’s analysis of those considerations:

1. **Land Use**. Staff finds that allowing a tobacco store in an existing retail strip center zoned General Commercial (GC), is consistent with surrounding retail uses in the area.
2. **Access**. There is sufficient driveway access along the Hwy. 146 frontage road as well as along W. Fairmont Pky.
3. **Utilities**. Water and sewer services are available to serve the property.

The City’s Comprehensive Plan identifies a number of items to be considered prior to making land use decisions. The following table breaks down each item and staff’s findings:

Criterion:	Staff Findings:
Ability of infrastructure to support the permitted use.	Existing infrastructure in the area is sufficient to support the proposed use.
Impact on the value and practicality of the surrounding land uses.	The proposed SCUP would be consistent with surrounding retail uses and the General Commercial (GC) zoning district. While there are no distancing requirements, there is an existing Vape shop in the adjacent strip center.
Conformance of a zoning request with the land use plan.	The future land use designation for the subject property is Commercial, which represents a wide variety of goods and services at the regional level. The comprehensive plan states that General Commercial is intended for more intense and large-scale commercial development, usually located at major thoroughfares. The proposed Tobacco and Smokers' Supply Store is a tenant space in a larger strip center.
Character of the surrounding and adjacent areas.	The proposed SCUP is consistent with the surrounding area and adjacent uses.
Suitability of the property for the uses that would be permissible, considering density, access and circulation, and adequacy of public facilities and services.	The subject property is suitable for uses that would be permitted within the General Commercial.
The extent to which the proposed use designation would adversely affect the capacity or safety of that portion of the road.	It is not anticipated that approval of the proposed SCUP would adversely impact traffic.
The extent to which the proposed use designation would create excessive air pollution, water pollution, noise pollution, or other environmental harm to adjacent properties.	It is not anticipated that the proposed SCUP would negatively impact the environmental integrity of the surrounding area.
The gain, if any, to the public health, safety, and welfare of the City.	N/A

RECOMMENDATION

Based on the above analysis, staff recommends the Planning and Zoning Commission consider the proposed SCUP-2024-0005, subject to the following conditions:

1. A site development plan shall be submitted, if necessary, in accordance with applicable requirements of the City of La Porte's Development Ordinance and shall comply with all provisions of Chapter 106, "Zoning" of the City's Code of Ordinances and all other department reviews and applicable laws and ordinances of the City of La Porte and the State of Texas.
2. All necessary documentation for building permit review must be submitted in conjunction with the city's building permit application process for any proposed building improvements.
3. Any substantive modifications to this Special Conditional Use Permit will require an amendment to this SCUP in accordance with Chapter 106, "Zoning" of the City's Code of Ordinances.

ATTACHMENTS

- Exhibit A: Aerial Map
- Exhibit B: Zoning Map
- Exhibit C: Future Land Use (FLUP) Map
- Exhibit D: Notification Map
- Exhibit E: SCUP Document
- Exhibit F: Site Photos
- Exhibit G: BAO Ad
- Exhibit H: Application

Exhibit E

City of La Porte Special Conditional Use Permit # SCUP-2024-0005

This permit is issued to: Bassam Khoury
Owner or Agent

932 Vista Ct., Riverside, CA 92506
Address

For Development of: Tobacco and Smokers' Supply Store (NAICS 453991)
Development Name

1307 W Fairmont Pky., La Porte, TX, 77571
Address

Legal Description: LTS 4 THRU 7 & TRS 8A & 25A THRU 30A BLK 1097 & ADJ ALLEY
LA PORTE, Harris County, Texas

Zoning: General Commercial (GC)

Use: Tobacco and Smokers' Supply Store (NAICS 453991)

Permit Conditions:

This Special Conditional Use Permit (SCUP) is applicable for the subject property, a copy of which shall be maintained in the files of the City's Planning and Development Department upon approval. Project development shall be in accordance with the following conditions:

1. A site development plan shall be submitted, if necessary, in accordance with applicable requirements of the City of La Porte's Development Ordinance and shall comply with all provisions of Chapter 106, "Zoning" of the City's Code of Ordinances and all other department reviews and applicable laws and ordinances of the City of La Porte and the State of Texas.
2. All necessary documentation for building permit review must be submitted in conjunction with the city's building permit application process for any proposed building improvements.
3. Any substantive modifications to this SCUP will require an amendment to this SCUP in accordance with Chapter 106, "Zoning" of the City's Code of Ordinances.

Failure to start construction of the site within 12 months after issuance or as scheduled under the terms of a S C U P shall void the permit as approved, except upon an extension of time granted after application to the Planning and Zoning Commission.

If contract or agreement is terminated after completion of any stage and there is ample evidence that further development is not contemplated, the ordinance establishing such SCUP may be rescinded by the City Council, upon its own motion or upon the recommendation of the Planning and Zoning Commission of the City of La Porte, and the previous zoning of the entire tract shall be in full effect on the portion which is undeveloped.

Validation Date: _____

Director of Planning and Development

City Secretary

Exhibit F

Site Photos





LEGAL NOTICES

**NOTICE OF PUBLIC HEARING
OF THE PLANNING & ZONING COMMISSION
OF THE CITY OF LA PORTE
ON ZONE CHANGE REQUEST # ZC-2024-0002**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct public hearings at **6:00 P.M.** on **November 4, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Zone Change Request # ZC-2024-0002, a request submitted by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a zone change from the General Commercial (GC) Zoning District to Low-Density Residential (R-1) Zoning District, on an approximately 0.618-acre tract of land located at 11811 H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, the City of La Porte will provide reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be submitted three (3) business days prior to the meetings. Please contact the City Secretary at 281- 470-5021.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0004**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0004, a request by Mark Higgins on behalf of Becky Ta/BTA Innovative Concepts LLC, owner, for approval of a SCUP to allow a secondary dwelling unit in the rear yard including approximately 136.8 square feet within the Single-Family Residential 1 (R-1) zoning district on an approximately 0.086-acre site located at 204 Dr. Martin Luther King Jr. Dr., and legally described as LT. 14, BLK 65, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0008**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0008, a request by Gary Walding, GW Group Properties LLC, owner/applicant, for approval of a SCUP to allow a commercial parking lot to be constructed within the Main Street Zoning District on 0.43 acres of land located at 0 Dr. Martin Luther King, Jr. Dr., and legally described as Lots 24-29, Block 55, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0005**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0005, a request by Bassam Khoury, applicant, on behalf of Texas Properties Khoury & Turk LLC, owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the General Commercial (GC) zoning district, on a 0.40-acre tract of land, located at 1307 W Fairmont Pky., and legally described as Lots 4 thru 7 & Tracts 8A & 25A thru 30A Block 1097 & Adjacent Alley La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

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**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0006**

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The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0006, a request by Crystal Vasquez, Huckabee Architects, on behalf of Dustin Bromley, La Porte ISD, owner, for approval of a SCUP to allow an existing school, Lomax Jr. High School within the Low-Density Residential (R-1) zoning district on approximately 20 acres of land located at 9801 L St., and legally described as TRS 413 & 414, La Porte Outlots, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

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**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0007**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0007, a request by Usman Bukhari, applicant, on behalf of KBK Petroleum Inc., owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the Neighborhood Commercial (NC) zoning district, on a 0.92-acre tract of land, located at 9803 W Fairmont Pky, and legally described as Tracts 719A-1 & 719B La Porte Out Lots, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING & ZONING COMMISSION
OF THE CITY OF LA PORTE
ON FUTURE LAND USE AMENDMENT REQUEST # FLUP-2024-0002**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct public hearings at **6:00 P.M.** on **November 4, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Future Land Use Amendment Request # FLUP-2024-0002, a request submitted by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a future land use amendment from Commercial to Low-Density Residential, on an approximately 0.618-acre tract of land located at 11811 H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

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IN YOUR WATER?**

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Your Entire Purchase*
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SOLUTIONS FOR CITY & WELL WATER - INCLUDING SALT-FREE OPTIONS

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Exhibit H

PLAN SNAPSHOT REPORT SCUP-2024-0005 FOR CITY OF LA PORTE

Plan Type: Special Conditional Use Permit (SCUP) **Project:** **App Date:** 09/05/2024
Work Class: Special Conditional Use Permit (SCUP) **District:** 5 **Exp Date:** NOT AVAILABLE
Status: In Review **Square Feet:** 0.00 **Completed:** NOT COMPLETED
Valuation: \$0.00 **Assigned To:** Briscoe, Yvonne **Approval Expire Date:**
Description: Permit to build a Bahama Mama in Fairporte Green Shopping Center. Bahama Mama is a high-end retailer of CBD wellness products - think Apple Store of CBD products.

Parcel: 0241820970023 **Main:** **Address:** **Zone:** GC(GC)

Applicant	Owner
Bassam Khoury	Bassam Khoury
932 Vista Ct	932 Vista Ct
Riverside, CA 92506	Riverside, CA 92506
Business: (925) 699-1686	Business: (925) 699-1686
Mobile: (925) 699-1686	Mobile: (925) 699-1686

Plan Custom Fields

Proposed NAICS Code 453991

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Bassam_Khoury_9/5/2024.jpg	09/05/2024 13:35	Khoury, Bassam		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00000477	Special Conditional Use Permit	\$400.00	\$400.00
Total for Invoice INV-00000477		\$400.00	\$400.00
Grand Total for Plan		\$400.00	\$400.00

Hearing Type	Location	Scheduled Date	Status	Subject
Schedule Public Hearing (P & Z Commission) v.1	City Hall	11/04/2024	Scheduled	SCUP-2024-0005

Attendees: Johnna Matthews; Maria Lawler; Yvonne Briscoe

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Special Conditional Use Review v.1	Approved	09/17/2024	09/26/2024	09/19/2024	No	Yes

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Planning Division	Planning	Briscoe, Yvonne	Not Required	09/17/2024	09/26/2024	09/19/2024

Comments: staff report completed

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1		09/09/2024 9:24	09/09/2024 9:24
Confirm Application Completeness v.1	Generic Action		09/09/2024 9:24
Fees v.1		09/09/2024 9:24	09/17/2024 12:09
Invoice Fees v.1	Generic Action		09/09/2024 9:24
Confirm Fees Paid v.1	Generic Action		09/17/2024 12:09
Review v.1			09/19/2024 8:39
Special Conditional Use Review v.1	Receive Submittal	09/17/2024 0:00	09/19/2024 8:39
Planning & Zoning Commission v.1		09/19/2024 8:32	
Schedule Public Hearing (P & Z Commission) v.1	Hold Hearing	09/19/2024 8:32	
Email Applicant Scheduled Hearing v.1	Generic Action		10/14/2024 8:14
Post Sign Posting on Property v.1	Generic Action		10/16/2024 13:15
Email Legal Ad to Bay Area Observer v.1	Generic Action		10/14/2024 8:14

PLAN SNAPSHOT REPORT (SCUP-2024-0005)

Confirm Bay Area Observer Published v.1	Generic Action	10/17/2024 11:56
Mail Notice of Public Hearing v.1	Generic Action	
Prepare and Distribute Staff Report v.1	Generic Action	
Staff Report Approval v.1	Generic Action	
Post Agenda and Packet on Website v.1	Generic Action	
Agenda and Packet to Commission v.1	Generic Action	
Agenda Posted On Bulletin v.1	Generic Action	
Issue Record of Decision v.1	Generic Action	
City Council v.1		
Schedule Public Hearing (City Council) v.1	Hold Hearing	
Email Applicant Scheduled Hearing v.1	Generic Action	
Email Legal Ad to Bay Area Observer v.1	Generic Action	
Confirm Bay Area Observer Published v.1	Generic Action	
Post Sign Posting on Property v.1	Generic Action	
Agenda Request v.1	Generic Action	
Issue Record of Decision v.1	Generic Action	
Issue Ordinance v.1		
Issue Ordinance v.1	Generic Action	
Complete & Close Application v.1	Generic Action	

Bassam Khoury
Managing Partner
Texas Properties Khoury & Turk, LLC
12440 Emily Ct. Suite 303
Sugarland, TX 77478

bekhoury@yahoo.com

C: 925-699-1686

9/5/2024

City of La Porte
La Porte, TX

Dear Haley Bowers,

I hope this letter finds you well. I am writing to respectfully request your approval of the permit for Bahama Mama to occupy a space in Fairporte Green Shopping Center located at 1307 W. Fairmont Parkway.

As landlord, getting this space leased is crucial for us to regain monetary control of the shopping center from the lender, who assumed control after the departure of Fresenius Dialysis, which left half of the center vacant. Securing Bahama Mama as a tenant would not only put us in a financially stable position but would also provide us with the flexibility to make much-needed capital improvements to the property. Improvements and enhancements that will help to revitalize the center and attract additional tenants.

Approving this permit will be a significant step toward improving the appearance and functionality of the shopping center, benefiting both the property and the community. We appreciate your consideration and look forward to your support in moving this project forward.

Please see below why we recommend Bahama Mama.

Thank you for your attention to this matter. We are eager to bring new life to the center with the addition of Bahama Mama and make further improvements for the benefit of all.

Sincerely,


Bassam Khoury
Managing Partner
Texas Properties Khoury & Turk, LLC

Bahama Mama

Company Background:

Bahama Mama is a high-end retailer of CBD wellness products - think Apple Store of CBD products. They focus on high-end retail locations, and they invest heavily in their store build outs to increase curb appeal. The goal is to improve the shopping center they are in, whereas most operators in this sector do not give that a second thought.

Bahama Mama has reinvigorated the CBD retail business through i) its designer store layouts, ii) best-in-class product selection, iii) highly engaged knowledge-based sales and customer experience and iv) key retail footprint in affluent neighborhoods.

The founder of Bahama Mama, Moe Chowdhury, is a successful Houston-based retail entrepreneur of 25+ years. Prior to the Bahama Mama concept, Moe was one of the largest retailers of Boost Mobile in North America and owned 70 locations in Texas. Prior to Moe, the CBD business was a "mom and pop" operation that resembled the traditional convenience store / gas station format. Moe's successful revamping and proven proof of concept of the business has given him a key competitive edge; Moe and his brand has become the preferred tenant of landlords in high-end markets for CBD retail operation in Houston, Austin, and Dallas.

Management: Moe Chowdhury, Founder & CEO

Members of the Board:

- 1) Moe Chowdhury, Chairman
- 2) Anik Akhund, Member of the Board. Anik previously worked as an Equity Research Analyst for a New York-based Long/Short Equity Hedge Fund, specializing in publicly traded restaurants, retail, tech, and consumer companies. He also founded two companies in the travel and distribution industries. Anik's focus and area of expertise lie in high-growth markets with significant demand for scaling. Additionally, Anik serves on the board of the Fleischer Foundation, a New York based educational charity which sponsors and mentors 8th grade students from Kenya (<https://www.thefleischerfoundation.org/bod>).

Key Operating Highlights:

- Founded: September 2020
- Industry: High-end retail
- Market presence: Houston, Austin & Dallas
- # of locations: 75 (as of Jan 31st, 2024)

Website with photos of current store's build out:

<https://www.bahama-mama.com/>



FAIRMONT PARKWAY

25,000+ vpd

48,000+ vpd

146
TEXAS

Suite	Tenant	SF
1307-1	Pizza Hut	1,530
1307-3	AVAILABLE	3,070
1307-2	Wells Fargo	2,795
C	Pristine Family Dentistry	2,013
D	AVAILABLE	4,081
B	Vapor Sense	1,063
E	Casa Anita's	4,603
H	AVAILABLE	2,214
I	Dawn Donuts	1,526
J	AVAILABLE	1,240
K	AVAILABLE	1,220
O	Smoothie King	1,394
L	AVAILABLE	4,255
L1	Global Nails	704
M	AVAILABLE	1,006
N	Mr. B's Dry Cleaners	1,230
P	AVAILABLE	1,219
Q	AVAILABLE	1,327
R	Subway	1,540
X	Concentra	10,199

**City of La Porte, Texas
Planning and Zoning Commission**



AGENDA ITEM #5.e

Special Conditional Use Permit SCUP-2024-0006

A request by Crystal Vasquez, Huckabee Architects, on behalf of Dustin Bromley, La Porte ISD, owner, for approval of a SCUP to allow an existing school, Lomax Jr. High School within the Low-Density Residential (R-1) zoning district on approximately 20 acres of land located at 9801 L St., and legally described as TRS 413 & 414, La Porte Outlots, La Porte, Harris County, Texas.

Planning and Development Department Staff Report

REQUEST

Consider a recommendation to the La Porte City Council to approve a Special Conditional Use Permit (SCUP) to allow an existing school, Lomax Jr. High School within the Low-Density Residential (R-1) zoning district on approximately 20 acres of land located at 9801 L St., and legally described as TRS 413 & 414, La Porte Outlots, La Porte, Harris County, Texas.

Location:

The subject property is a 20-acre tract of land located at 9801 L. St.

Background Information:

According to Harris Central Appraisal District records, La Porte Independent School District has owned the property since 1988 and currently houses Lomax Junior High School. Lomax Junior High School proposes to expand in the future by adding a detached competition gym and associated locker rooms as well as select renovation of existing interior spaces.

The current zoning designation of Single-Family Residential-1 (R-1) necessitates the approval of a Special Conditional Use Permit (SCUP) for the establishment of public or private educational institutions, including elementary, junior, and senior high schools. The existing school is classified as a non-conforming use, as there is no record of an approved SCUP for this site. This classification poses limitations on future additions, expansions, and various improvements. Therefore, obtaining a SCUP is essential for the school to proceed with any proposed modifications or enhancements.

Zoning

The subject property is zoned Low-Density Residential (R-1). The below table summarizes the surrounding zoning and land uses:

	Zoning	Land Use
<i>North</i>	Low-Density Residential (R-1)	Single-Family Subdivision
<i>South</i>	Low-Density Residential (R-1)	Single-Family Subdivision
<i>West</i>	Low-Density Residential (R-1)	Single-Family Subdivision
<i>East</i>	Low-Density Residential (R-1)	Single-Family Subdivision

Notification Requirements:

Staff finds that the public hearing notification requirements outlined in Section 106-171 were performed in accordance with code provisions, including the following: notice in a newspaper of general circulation at least 15 days prior to the hearing; written notice mailed to owners of real property within 300 feet of the site within 15 days of the hearing; and one (1) sign was posted in the area within 15 days of the hearing. In accordance with state law, notice of the public hearing was also posted at City Hall and on the City’s website.

Analysis:

There are a number of different considerations staff evaluated during the review of this application. The following describes staff’s analysis of those considerations:

1. **Land Use.** The future land use designation for the subject property is Public/Institutional and is compatible with the existing junior high school.
2. **Utilities.** Water and sewer services are available to serve the property.

The City’s Comprehensive Plan identifies a number of items to be considered prior to making land use decisions. The following table breaks down each item and staff’s findings:

Criterion:	Staff Findings:
Ability of infrastructure to support the permitted use.	Existing infrastructure in the area is sufficient to support the proposed use.
Impact on the value and practicality of the surrounding land uses.	Approval of the SCUP will improve the value of the property by ensuring compliance with local zoning laws, and will allow the school to expand and make other improvements as needed.
Conformance of a zoning request with the land use plan.	No change to the future land use designation is required.
Character of the surrounding and adjacent areas.	Surrounding uses are compatible with the existing school.
Suitability of the property for the uses that would be permissible, considering density, access and circulation, and adequacy of public facilities and services.	The subject property is suitable for the existing use of a school.
The extent to which the proposed use designation would adversely affect the	It is not anticipated that the existing use has or will adversely affect the capacity or safety of that portion of the road.

capacity or safety of that portion of the road.	
The extent to which the proposed use designation would create excessive air pollution, water pollution, noise pollution, or other environmental harm to adjacent properties.	It is not anticipated that the proposed SCUP would negatively impact the environmental integrity of the surrounding area.
The gain, if any, to the public health, safety, and welfare of the City.	N/A

RECOMMENDATION

Based on the above analysis, staff recommends the Planning and Zoning Commission consider the proposed SCUP-2024-0006.

ATTACHMENTS

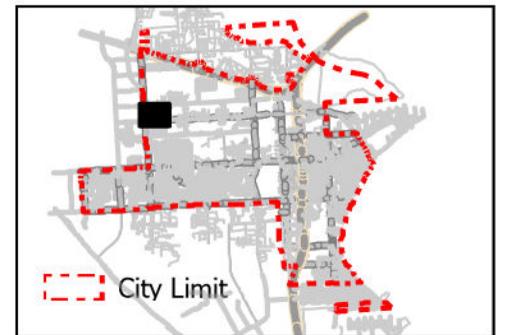
- Exhibit A: Aerial Map
- Exhibit B: Zoning Map
- Exhibit C: Future Land Use (FLUP) Map
- Exhibit D: Notification Map
- Exhibit E: SCUP Document
- Exhibit F: Site Photos
- Exhibit G: BAO Ad
- Exhibit H: Application & Site Plan

Aerial Map

Parcel # 023140000413
Case # SCUP-2024-0006

 Subject Property

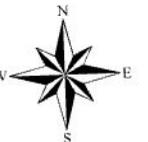
Exhibit A



This product is for informational purposes only and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of the property boundaries

0 175 350 Feet

1 inch = 350 feet



CITY OF LA PORTE PLANNING DEPARTMENT

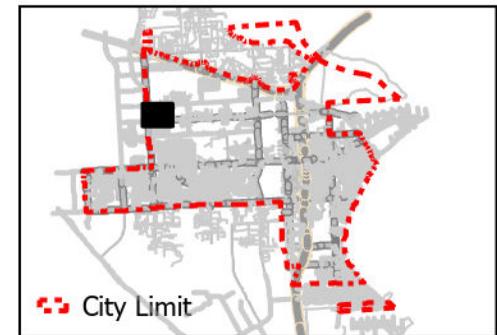


Zoning Map

Parcel # 0231400000413
Case # SCUP-2024-0006

-  Subject Property
- Zoning Districts**
-  General Commercial
-  Large Lot Residential
-  Low Density Residential

Exhibit B



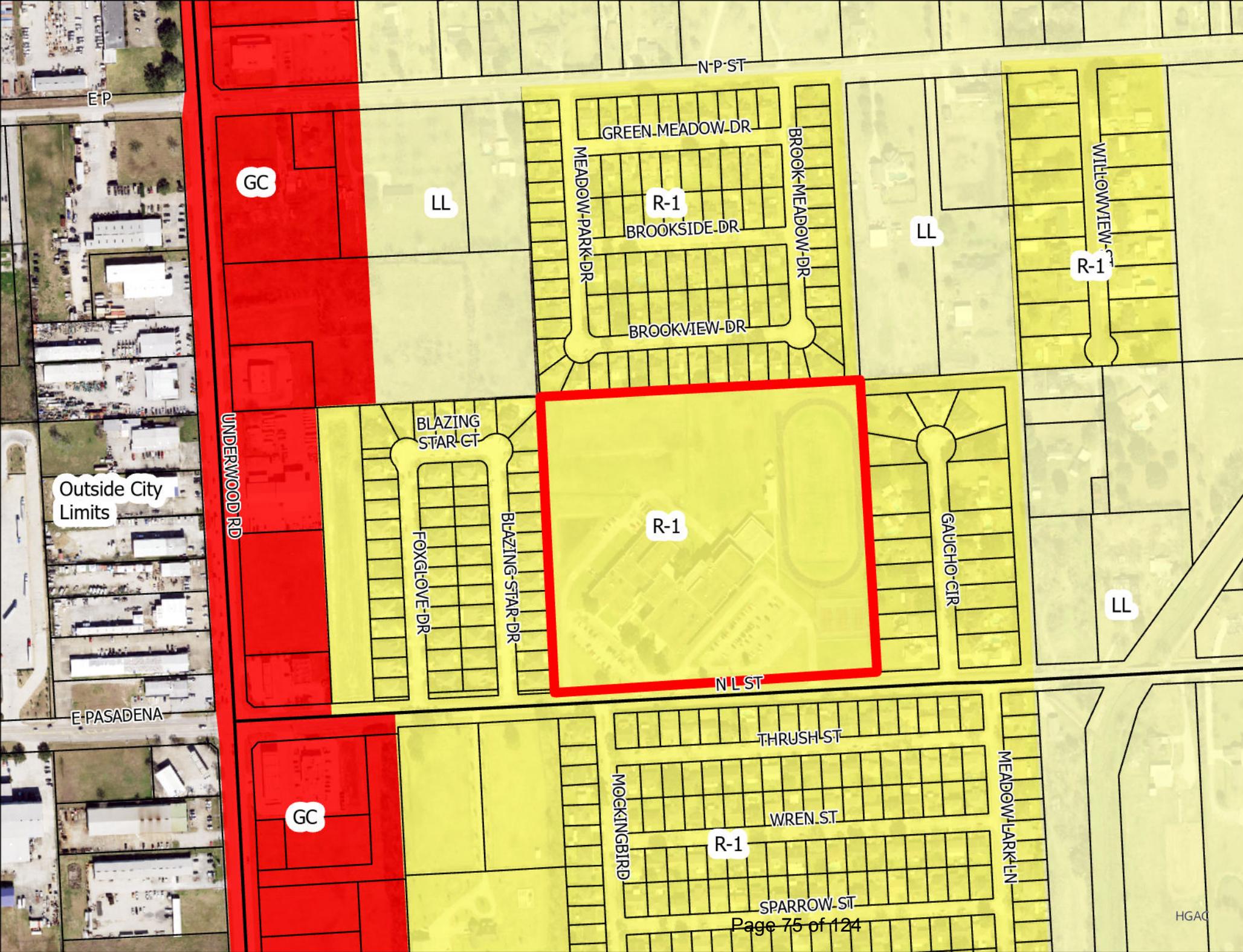
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0 175 350 Feet

1 inch = 350 feet



CITY OF LA PORTE PLANNING DEPARTMENT



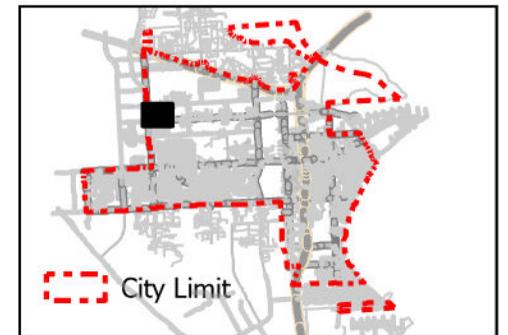
Outside City Limits

Notification Map

Parcels within 300 feet of
Parcel # 0231400000413
Case # SCUP-2024-0006

-  Subject Property
-  Noticed Properties

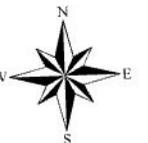
Exhibit D



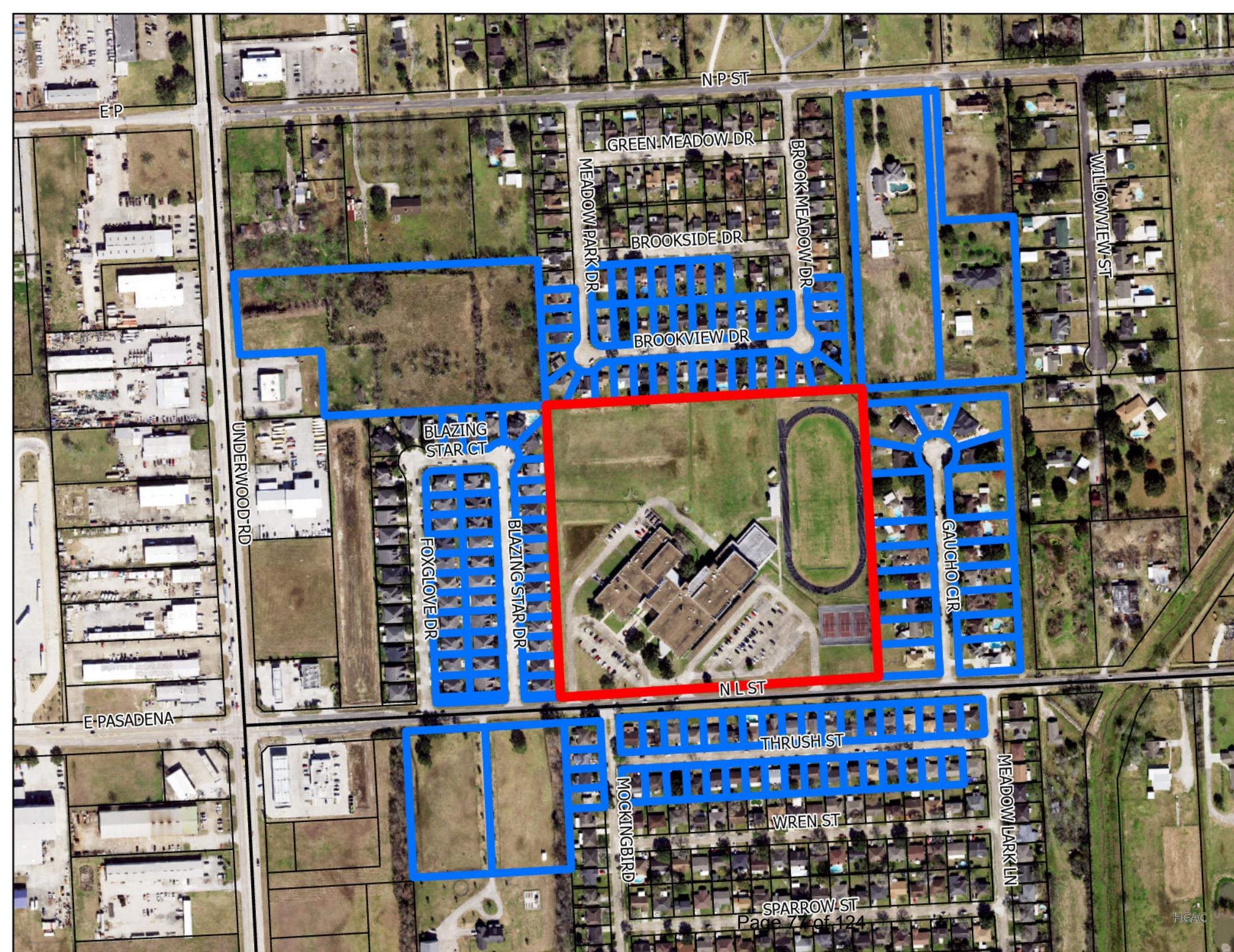
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0 175 350 Feet

1 inch = 350 feet



CITY OF LA PORTE PLANNING DEPARTMENT



City of La Porte
Special Conditional Use Permit
#SCUP-2024-0006

This permit is issued to: La Porte Independent School District
Owner or Agent

604 W. Fairmont Pkwy, La Porte, TX 77571
Address

For Development of: Junior High School
Development Name

9801 L St, La Porte, TX 77571
Address

Legal Description: TRS 413 & 414, La Porte Outlots, La Porte, Harris County, TX

Zoning: Low Density Residential 1 (R-1)

Use: Junior High School (NAICS Code 6611110)

Permit Conditions:

This Special Conditional Use Permit (SCUP) is applicable for the subject property, a copy of which shall be maintained in the files of the City's Planning and Development Department upon approval. Project development shall be in accordance with the following conditions:

1. A site development plan shall be submitted, if necessary, in accordance with applicable requirements of the City of La Porte's Development Ordinance and shall comply with all provisions of Chapter 106, "Zoning" of the City's Code of Ordinances and all other department reviews and applicable laws and ordinances of the City of La Porte and the State of Texas.
2. All necessary documentation for permit review must be submitted in conjunction with the city's building permit application process for any proposed building improvements.
3. Any substantive modifications to this SCUP will require an amendment to this SCUP in accordance with Chapter 106, "Zoning" of the City's Code of Ordinances.

Failure to start construction of the site within 12 months after issuance or as scheduled under the terms of a S C U P shall void the permit as approved, except upon an extension of time granted after application to the Planning and Zoning Commission.

If contract or agreement is terminated after completion of any stage and there is ample evidence that further development is not contemplated, the ordinance establishing such SCUP may be rescinded by the City Council, upon its own motion or upon the recommendation of the Planning and Zoning Commission of the City of La Porte, and the previous zoning of the entire tract shall be in full effect on the portion which is undeveloped.

Validation Date: _____

Director of Planning and Development

City Secretary

Exhibit F

Site Photo



LEGAL NOTICES

**NOTICE OF PUBLIC HEARING
OF THE PLANNING & ZONING COMMISSION
OF THE CITY OF LA PORTE
ON ZONE CHANGE REQUEST # ZC-2024-0002**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct public hearings at **6:00 P.M.** on **November 4, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Zone Change Request # ZC-2024-0002, a request submitted by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a zone change from the General Commercial (GC) Zoning District to Low-Density Residential (R-1) Zoning District, on an approximately 0.618-acre tract of land located at 11811 H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, the City of La Porte will provide reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be submitted three (3) business days prior to the meetings. Please contact the City Secretary at 281- 470-5021.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0004**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0004, a request by Mark Higgins on behalf of Becky Ta/BTA Innovative Concepts LLC, owner, for approval of a SCUP to allow a secondary dwelling unit in the rear yard including approximately 136.8 square feet within the Single-Family Residential 1 (R-1) zoning district on an approximately 0.086-acre site located at 204 Dr. Martin Luther King Jr. Dr., and legally described as LT. 14, BLK 65, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0008**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0008, a request by Gary Walding, GW Group Properties LLC, owner/applicant, for approval of a SCUP to allow a commercial parking lot to be constructed within the Main Street Zoning District on 0.43 acres of land located at 0 Dr. Martin Luther King, Jr. Dr., and legally described as Lots 24-29, Block 55, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

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**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0005**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0005, a request by Bassam Khoury, applicant, on behalf of Texas Properties Khoury & Turk LLC, owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the General Commercial (GC) zoning district, on a 0.40-acre tract of land, located at 1307 W Fairmont Pky., and legally described as Lots 4 thru 7 & Tracts 8A & 25A thru 30A Block 1097 & Adjacent Alley La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

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**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0006**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0006, a request by Crystal Vasquez, Huckabee Architects, on behalf of Dustin Bromley, La Porte ISD, owner, for approval of a SCUP to allow an existing school, Lomax Jr. High School within the Low-Density Residential (R-1) zoning district on approximately 20 acres of land located at 9801 L St., and legally described as TRS 413 & 414, La Porte Outlots, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0007**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0007, a request by Usman Bukhari, applicant, on behalf of KBK Petroleum Inc., owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the Neighborhood Commercial (NC) zoning district, on a 0.92-acre tract of land, located at 9803 W Fairmont Pky, and legally described as Tracts 719A-1 & 719B La Porte Out Lots, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING & ZONING COMMISSION
OF THE CITY OF LA PORTE
ON FUTURE LAND USE AMENDMENT REQUEST # FLUP-2024-0002**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct public hearings at **6:00 P.M.** on **November 4, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Future Land Use Amendment Request # FLUP-2024-0002, a request submitted by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a future land use amendment from Commercial to Low-Density Residential, on an approximately 0.618-acre tract of land located at 11811 H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, the City of La Porte will provide reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be submitted three (3) business days prior to the meetings. Please contact the City Secretary at 281- 470-5021.

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Exhibit H

PLAN SNAPSHOT REPORT SCUP-2024-0006 FOR CITY OF LA PORTE

Plan Type: Special Conditional Use Permit (SCUP) **Project:** **App Date:** 09/06/2024
Work Class: Special Conditional Use Permit (SCUP) **District:** Blank **Exp Date:** NOT AVAILABLE
Status: In Review **Square Feet:** 0.00 **Completed:** NOT COMPLETED
Valuation: \$0.00 **Assigned To:** Matthews, Johnna **Approval Expire Date:**

Description: Existing Lomax Junior High School

Parcel: 0231400000413	Main	Address: 9801 L St La Porte, TX 77571	Main	Zone:
------------------------------	------	---	------	--------------

Architect Blake Clements Business: (281) 793-8386	Owner Dustin Bromley Home: (281) 604-7050	Applicant Crystal Vasquez 1700 City Plaza Drive, City Place 1 Ste. 125 Ste. 125 Spring, TX 77389 Business: (800) 687-1229 Mobile: (817) 946-0047
--	--	---

Plan Custom Fields

Proposed NAICS Code 611

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Crystal_Vasquez_9/6/2024.j pg	09/06/2024 0:34	Vasquez, Crystal		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00000478	Special Conditional Use Permit	\$400.00	\$400.00
Total for Invoice INV-00000478		\$400.00	\$400.00
Grand Total for Plan		\$400.00	\$400.00

Hearing Type	Location	Scheduled Date	Status	Subject
Schedule Public Hearing (P & Z Commission) v.1	City Hall	11/04/2024	Scheduled	SCUP-2024-0006 (9801 L ST LA PORTE, TX 77571)

Attendees: Crystal Vasquez; Johnna Matthews; Maria Pena; Yvonne Briscoe

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Special Conditional Use Review v.1	In Review	09/10/2024	09/19/2024		No	No

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Planning Division	Planning	Matthews, Johnna	In Review	09/10/2024	09/19/2024	

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1		09/09/2024 9:25	09/09/2024 9:25
Confirm Application Completeness v.1	Generic Action		09/09/2024 9:25
Fees v.1		09/09/2024 9:25	09/10/2024 15:18
Invoice Fees v.1	Generic Action		09/09/2024 9:25
Confirm Fees Paid v.1	Generic Action		09/10/2024 15:18
Review v.1			
Special Conditional Use Review v.1	Receive Submittal	09/10/2024 0:00	
Planning & Zoning Commission v.1		10/16/2024 13:17	
Schedule Public Hearing (P & Z Commission) v.1	Hold Hearing	10/17/2024 12:02	
Email Applicant Scheduled Hearing v.1	Generic Action		10/17/2024 12:04
Post Sign Posting on Property v.1	Generic Action		10/16/2024 13:18
Email Legal Ad to Bay Area Observer v.1	Generic Action		10/17/2024 12:04

PLAN SNAPSHOT REPORT (SCUP-2024-0006)

Confirm Bay Area Observer Published v.1	Generic Action	10/17/2024 12:04
Mail Notice of Public Hearing v.1	Generic Action	
Prepare and Distribute Staff Report v.1	Generic Action	
Staff Report Approval v.1	Generic Action	
Post Agenda and Packet on Website v.1	Generic Action	
Agenda and Packet to Commission v.1	Generic Action	
Agenda Posted On Bulletin v.1	Generic Action	
Issue Record of Decision v.1	Generic Action	
City Council v.1		
Schedule Public Hearing (City Council) v.1	Hold Hearing	
Email Applicant Scheduled Hearing v.1	Generic Action	
Email Legal Ad to Bay Area Observer v.1	Generic Action	
Confirm Bay Area Observer Published v.1	Generic Action	
Post Sign Posting on Property v.1	Generic Action	
Agenda Request v.1	Generic Action	
Issue Record of Decision v.1	Generic Action	
Issue Ordinance v.1		
Issue Ordinance v.1	Generic Action	
Complete & Close Application v.1	Generic Action	



MORE THAN ARCHITECTS

September 6, 2024

City of La Porte
604 West Fairmont Parkway
La Porte, TX 77571

Re: La Porte ISD
Project Name: Additions and Renovations to Lomax Junior High School
Project Address: 9801 N Avenue L

To Whom It May Concern:

The purpose for the Special Conditional Use Permit application is for the existing Lomax Junior High School in zoning district Low Density Residential.

Please see attached Special Conditional Use Permit Application.

Sincerely,

Crystal Vasquez

Huckabee

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www.huckabee-inc.com

Page 84 of 124



Special Conditional Use Permit Application

Planning and Development Department

PROJECT INFORMATION

Address where SCUP is being requested: 9801 N Avenue L

Legal description where SCUP is being requested: TRS 413 & 414 LA PORTE OUTLOTS

HCAD Parcel Number where SCUP is being requested: 0231400000413

Zoning District: Low Density Residential Lot area: 19.983 acres

A request for approval of a Special Conditional Use Permit is hereby made to the City of La Porte.

Description of Request: Special Conditional Use Permit for existing Lomax Junior High School. It was brought to our attention during a Pre-Application Consultation that a SCUP is required for the existing school.

Attached hereto is a Project Description Letter describing the project and outlining the reasons why such SCUP should be approved.

PROPERTY OWNER(S) INFORMATION

Name: Dustin Bromley, PhD

Company (if applicable): La Porte ISD

Address: 1002 San Jacinto Street

City: La Porte State: TX Zip: 77571

Phone: 281.604.7050 Email: _____

AUTHORIZED AGENT (If other than owner)

Name: Crystal Vasquez

Company (if applicable): Huckabee

Address: 1700 City Plaza Drive, Ste. 125

City: Spring State: TX Zip: 77389

Phone: 800.687.1229 Email: crystal.vasquez@huckabee-inc.com

OWNER(S) & AGENT CERTIFICATION

I hereby depose and state under the penalties of perjury that all statements, proposals and/or plans submitted with/or contained in this application are true and correct and the application is complete to the best of my knowledge and belief.

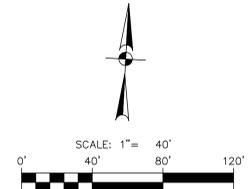
Agent's Signature: *Crystal Vasquez* Date: 08.29.2024

Owner(s)' Signature(s): *[Signature]* Date: 8.30.24

STAFF USE ONLY:

Case Number: _____

Date Application Received: _____



LEGEND

- PROPERTY LINE
- - - ADJACENT LOT LINE
- BUILDING LINE
- - - EASEMENT LINE
- - - FLOODPLAIN LIMITS
- - - EXISTING PAVEMENT EDGE
- ▨ EXISTING CONCRETE SIDEWALK
- ▨ PROPOSED 4" THICK CONCRETE SIDEWALK (REF. SHEET XXX FOR DETAIL)
- EXISTING CURB
- ▨ PROPOSED 6" CONCRETE CURB

SITE PARKING TABLE

EXISTING SPACES (HIGH SCHOOL)	170 SPACES 6 ACCESSIBLE SPACES 176 TOTAL SPACES
EXISTING SPACES (REMOVED)	0 SPACES 0 ACCESSIBLE SPACES* 0 TOTAL SPACES
NEW SPACES	0 SPACES 0 ACCESSIBLE SPACES 0 TOTAL SPACES
TOTAL SPACES	170 SPACES 6 ACCESSIBLE SPACES 176 TOTAL SPACES
REQUIRED SPACES	100 SPACES 6 ACCESSIBLE SPACES 106 TOTAL SPACES REQUIRED

**PER CITY OF LA PORTE, ARTICLE IV, SEC. 106-839, "PUBLIC OR PRIVATE EDUCATIONAL (EXCEPT SENIOR HIGH SCHOOL)"; 1 PER 20 STUDENTS, 1 PER STAFF MEMBER (10 MINIMUM)* PARKING SPACES ARE REQUIRED.

567 STUDENTS / 20 + 72 STAFF PARKING = 100 PARKING SPACES REQUIRED

THE SUBJECT PROPERTY IS WITHIN THE FOLLOWING FLOOD ZONE(S) AS DEPICTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBER 48201C0940M, DATED 01/01/2021, FOR HARRIS COUNTY, TEXAS AND INCORPORATED AREAS.

ZONE AE, DEFINED AS: "SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; BASE FLOOD ELEVATION DETERMINED."

ZONE X (SHADED), DEFINED AS: "OTHER FLOOD AREAS; AREAS OF 0.2% ANNUAL FLOOD CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."

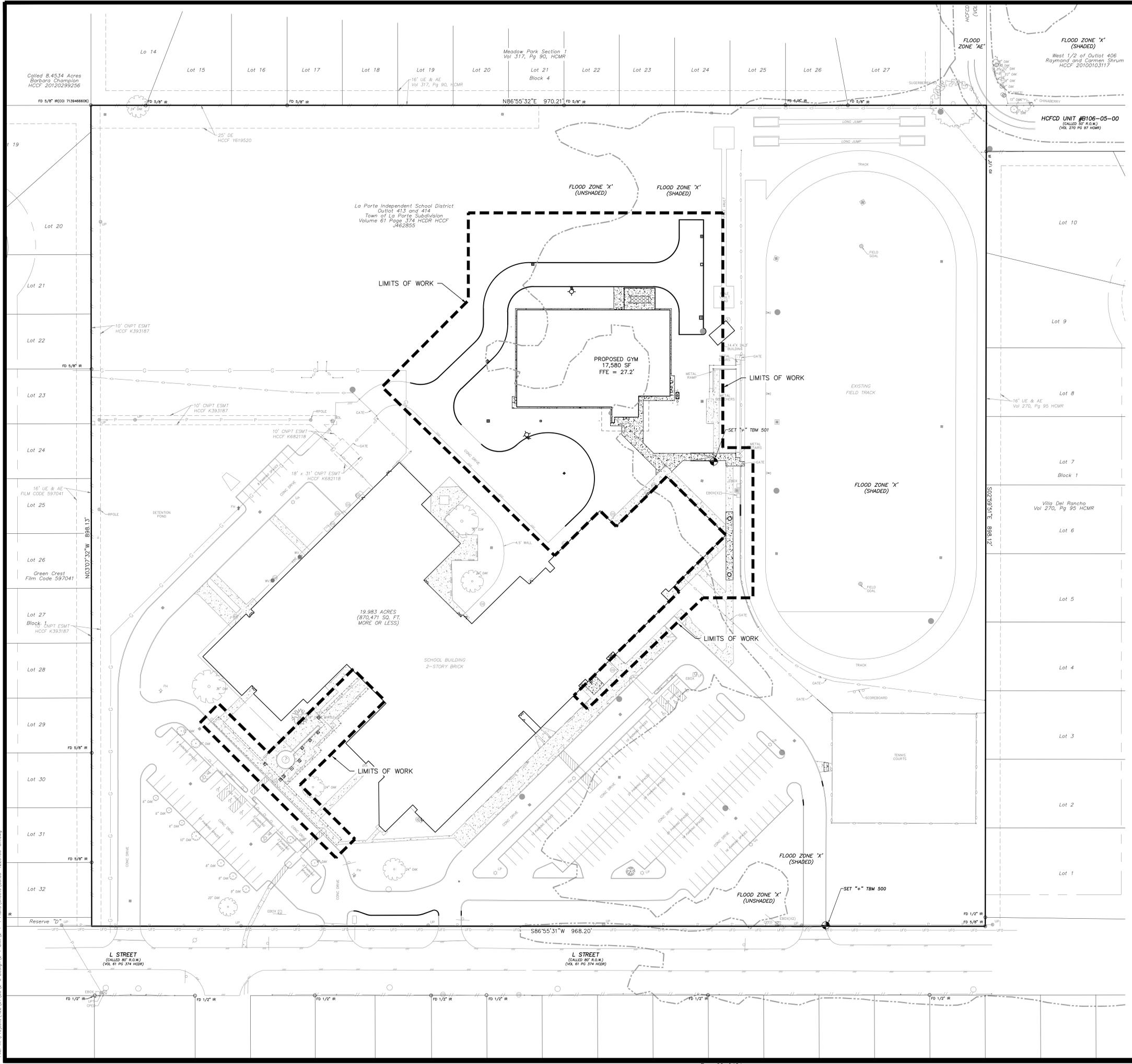
ZONE X (UNSHADED), DEFINED AS: "OTHER AREAS; AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN."

ADDITIONS AND RENOVATIONS TO
 LOMAX JUNIOR HIGH SCHOOL
 FOR
 LA PORTE ISD, HARRIS COUNTY, TEXAS
 9801 N AVENUE L, LA PORTE, TEXAS 77571



OVERALL SITE PLAN

Job No. 42261-00	Sheet No. C3.00
Drawn By: SM	Date: 08/03/2024



Date: Aug 29, 2024, 3:08pm, User: ID: abcdd
 File: K:\Projects\22261\002-00_Design\2-1_Civil\2-1-4_Plans\Sheets\C3.00-4226100-0A.dwg
 THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INDEPENDENTLY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

**City of La Porte, Texas
Planning and Zoning Commission**



AGENDA ITEM #5.f

Special Conditional Use Permit #SCUP-2024-0007

A request is being made by request is being made by Usman Bukhari, applicant, on behalf of KBK Petroleum Inc., owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the Neighborhood Commercial (NC) zoning district, on a 0.92-acre tract of land, located at 9803 W Fairmont Pky., and legally described as Tracts 719A-1 & 719B La Porte Out Lots, Harris County, Texas.

Planning and Development Department Staff Report

REQUEST

Consider a recommendation to the La Porte City Council to approve a Special Conditional Use Permit (SCUP) to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the Neighborhood Commercial (NC) zoning district, on a 0.92-acre tract of land, located at 9803 W Fairmont Pky., and legally described as Tracts 719A-1 & 719B La Porte Out Lots, Harris County, Texas

DISCUSSION

Location:

The subject property is a 0.92-acre tract of land, located at 9803 W Fairmont Pky.

Background Information:

The subject property is developed with two (2) buildings including approximately 7,750 square feet, which currently houses a host of uses including convenience store with fueling, donut shop, tailor, realtor office, and a vacant suite in which the applicant proposes to locate a Tobacco and Smokers' Supply store. According to the National American Industry Classification System (NAICS), a Tobacco and Smokers' Supply store is defined as an establishment primarily engaged in retailing cigarettes, cigars, tobacco, pipes, and other smokers' supplies.

According to City records, there are seven (7) active tobacco stores in La Porte. One of which is located in the same shopping center on an adjacent property. Their location and approximate distances from the subject property, based on Google are listed below:

1. Vape and More located at 9901 Spencer Highway, Suite G: 1.1 miles
2. Smooking located at 8610 Spencer Highway: 2 miles
3. Vapor Sense located at 1309 W. Fairmont Parkway, Suite B: 3.5 miles.
4. Sylvan Vape located at 1131 S. Broadway Street: 4.2 miles
5. Tobacco Shop located at 913 S. Broadway Street: 4.3 miles
6. Buzzers located at 1444 Sens Road: 4.7 miles
7. Vape World - 3151 S. Broadway Street: 6 miles

There are three (3) La Porte Independent School District (LPISD) schools within two (2) miles of the proposed site. The closest LPISD schools and approximate distances from the subject property, based on Google are listed below:

1. Jennie Reid Elementary School located at 10001 W Fairmont Pkwy.: 0.5 mile
2. Instructional Technology Center located at 9832 Spencer Hwy.: 1.1 miles
3. Rizzuto Elementary School located at 3201 Farrington St.: 1.7 miles

Zoning

The subject property is zoned Neighborhood Commercial (NC). Exhibit B illustrates the zoning districts and land uses of the subject property and surrounding properties. The following table summarizes surrounding zoning districts and land uses.

	Zoning	Land Use
North	Planned Unit Development (PUD)	Sylvan Shores Health and Wellness Center
South	Neighborhood Commercial (NC)	JVIC
West	Neighborhood Commercial (NC)	Jack in the Box
East	Neighborhood Commercial (NC)	Convenience Store with Fuel

Notification Requirements:

Staff finds that the public hearing notification requirements outlined in Section 106-12 were performed in accordance with code provisions, including the following: notice in a newspaper of general circulation at least 15 days prior to the hearing; written notice mailed to owners of real property within 300 feet of the site within 10 days of the hearing; and two (2) signs were posted in the area within 15 days of the hearing. In accordance with state law, notice of the public hearing was also posted at City Hall and on the City’s website.

Analysis:

There are a number of different considerations staff evaluated during the review of this application. The following describes staff’s analysis of those considerations:

1. **Land Use**. Staff finds that allowing a tobacco store in an existing retail strip center zoned Neighborhood Commercial (NC), is consistent with surrounding retail uses in the area.
2. **Access**. There is sufficient driveway access along W. Fairmont Pky.
3. **Utilities**. Water and sewer services are available to serve the property.

The City’s Comprehensive Plan identifies a number of items to be considered prior to making land use decisions. The following table breaks down each item and staff’s findings:

Criterion:	Staff Findings:
Ability of infrastructure to support the permitted use.	Existing infrastructure in the area is sufficient to support the proposed use.
Impact on the value and practicality of the surrounding land uses.	The proposed SCUP would be consistent with surrounding retail uses and the General Commercial (GC) zoning district.
Conformance of a zoning request with the land use plan.	The future land use designation for the subject property is Commercial, which represents a wide variety of goods and services at the regional level.
Character of the surrounding and adjacent areas.	The proposed SCUP is consistent with the surrounding area and adjacent uses.
Suitability of the property for the uses that would be permissible, considering density, access and circulation, and adequacy of public facilities and services.	The subject property is suitable for uses that would be permitted within the General Commercial including the retail use proposed.
The extent to which the proposed use designation would adversely affect the capacity or safety of that portion of the road.	It is not anticipated that approval of the proposed SCUP would adversely impact traffic.
The extent to which the proposed use designation would create excessive air pollution, water pollution, noise pollution, or other environmental harm to adjacent properties.	It is not anticipated that the proposed SCUP would negatively impact the environmental integrity of the surrounding area.
The gain, if any, to the public health, safety, and welfare of the City.	N/A

RECOMMENDATION

Based on the above analysis, staff recommends the Planning and Zoning Commission consider the proposed SCUP-2024-0007, subject to the following conditions:

1. A site development plan shall be submitted, if necessary, in accordance with applicable requirements of the City of La Porte’s Development

- Ordinance and shall comply with all provisions of Chapter 106, "Zoning" of the City's Code of Ordinances and all other department reviews and applicable laws and ordinances of the City of La Porte and the State of Texas.
2. All necessary documentation for building permit review must be submitted in conjunction with the city's building permit application process for any proposed building improvements.
 3. Any substantive modifications to this Special Conditional Use Permit will require an amendment to this SCUP in accordance with Chapter 106, "Zoning" of the City's Code of Ordinances.

ATTACHMENTS

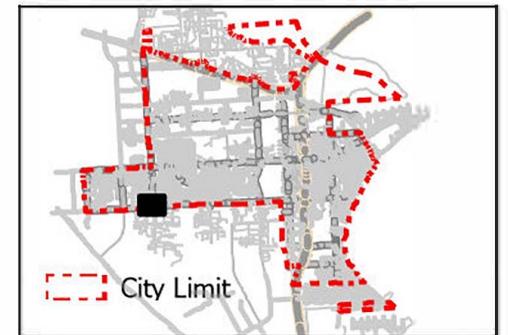
- Exhibit A: Aerial Map
- Exhibit B: Zoning Map
- Exhibit C: Future Land Use (FLUP) Map
- Exhibit D: Notification Map
- Exhibit E: SCUP Document
- Exhibit F: Site Photos
- Exhibit G: BAO Ad
- Exhibit H: Application

Exhibit A

Aerial Map

Parcel #0231460000798
Case # SCUP-2024-0007

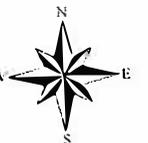
 Subject Property



This product is for informational purposes only and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of the property boundaries

0 150 300 Feet

1 inch = 300 feet

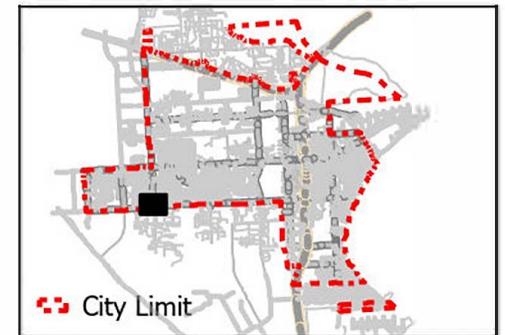


CITY OF LA PORTE PLANNING DEPARTMENT

Exhibit B Zoning Map

Parcel # 0231460000798
Case # SCUP-2024-0007

-  Subject Property
- Zoning Districts
 -  Neighborhood Commercial
 -  Planned Unit Development
 -  Low Density Residential
 -  Medium Density Residential
 -  High Density Residential



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0 150 300 Feet

1 inch = 300 feet



CITY OF LA PORTE PLANNING DEPARTMENT

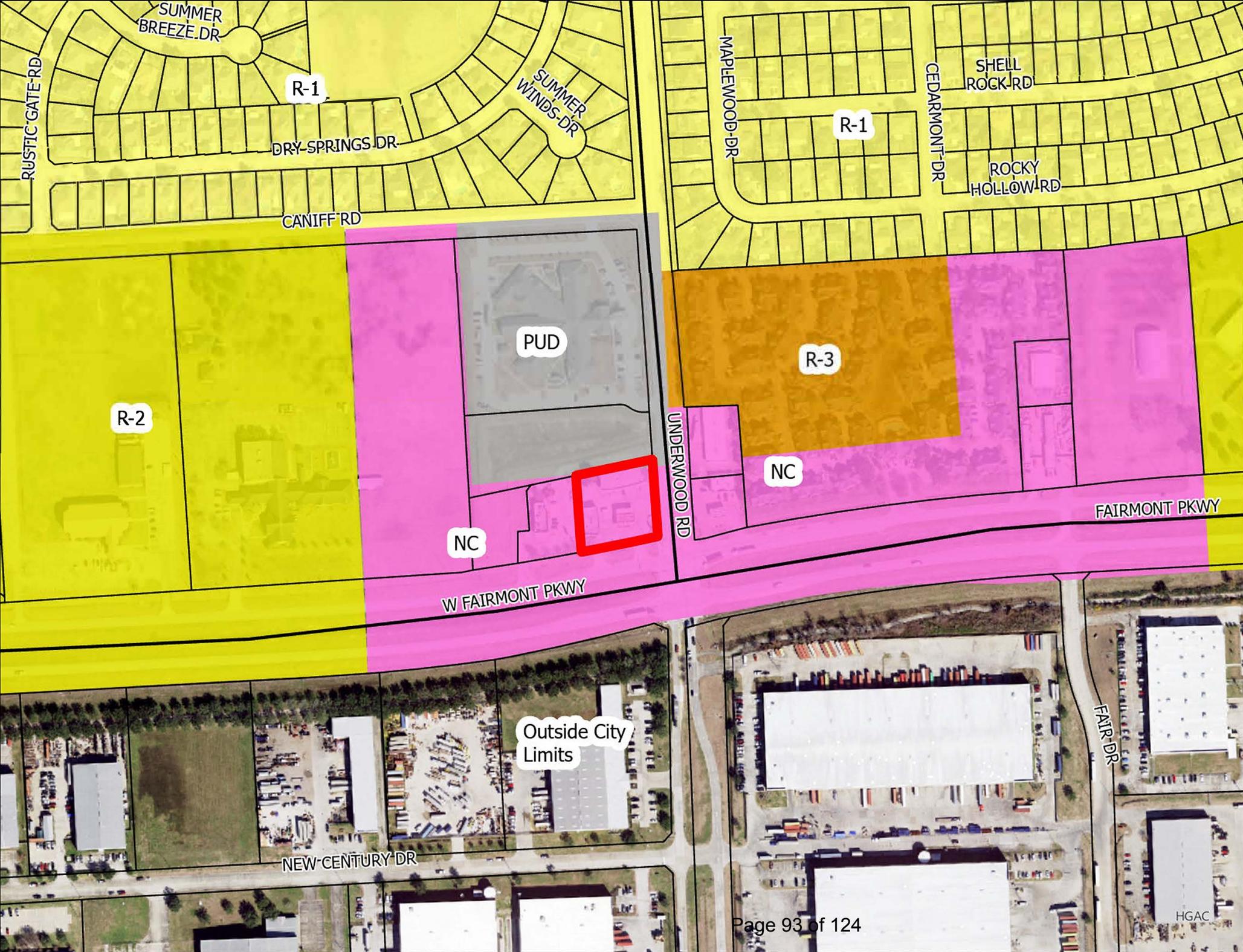
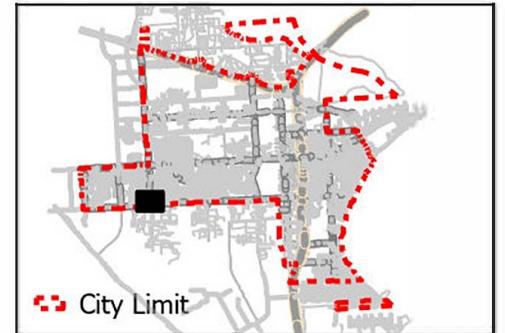


Exhibit C

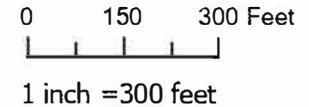
FLUP Map

Parcel #023146000798
Case # SCUP-2024-0007

-  Subject Property
- Future Land Use**
-  Low Density Residential
-  High Density Residential
-  Neighborhood Commercial
-  Public / Institutional
-  Parks and Open Space
-  Outside City of La Porte Jurisdiction



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CITY OF LA PORTE PLANNING DEPARTMENT

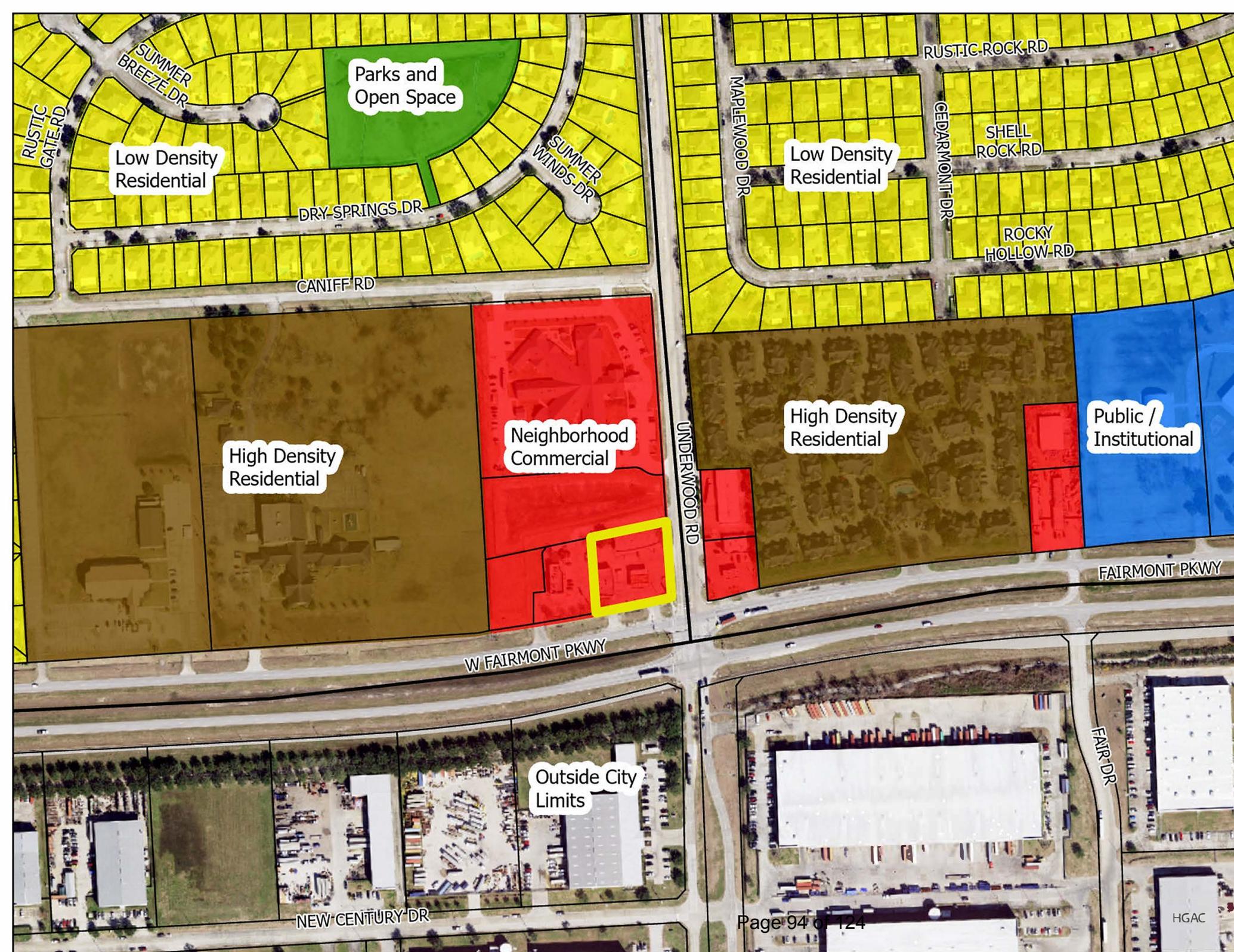
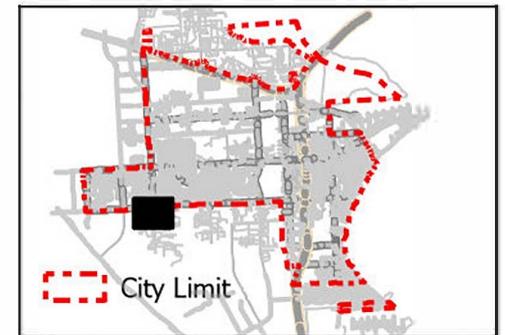


Exhibit D Notification Map

Parcels within 300 feet of
Parcel # 0231460000798
Case # SCUP-2024-0007

-  Subject Property
-  Properties Notified



This product is for informational purposes only and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of the property boundaries

0 225 450 Feet

1 inch = 450 feet



CITY OF LA PORTE PLANNING DEPARTMENT

Exhibit E

**City of La Porte
Special Conditional Use
Permit
SCUP-2024-0007**

This permit is issued to: Usman Bukhari
Owner or Agent

9805 W. Fairmont Pkwy, Suite C, La Porte, TX 77571
Address

For Development of: Tobacco and Smokers' Supply Store (NAICS 453991)
Development Name

9805 W Fairmont Pky., La Porte, TX, 77571
Address

Legal Description: LTS Tracts 719A-1 & 719B La Porte Out Lots, Harris County, Texas.

Zoning: Neighborhood Commercial (NC)

Use: Tobacco and Smokers' Supply Store (NAICS 453991)

Permit Conditions:

This Special Conditional Use Permit (SCUP) is applicable for the subject property, a copy of which shall be maintained in the files of the City's Planning and Development Department upon approval. Project development shall be in accordance with the following conditions:

1. A site development plan shall be submitted, if necessary, in accordance with applicable requirements of the City of La Porte's Development Ordinance and shall comply with all provisions of Chapter 106, "Zoning" of the City's Code of Ordinances and all other department reviews and applicable laws and ordinances of the City of La Porte and the State of Texas.
2. All necessary documentation for building permit review must be submitted in conjunction with the city's building permit application process for any proposed building improvements.
3. Any substantive modifications to this SCUP will require an amendment to this SCUP in accordance with Chapter 106, "Zoning" of the City's Code of Ordinances.

Failure to start construction of the site within 12 months after issuance or as scheduled under the terms of a S C U P shall void the permit as approved, except upon an extension of time granted after application to the Planning and Zoning Commission.

If contract or agreement is terminated after completion of any stage and there is ample evidence that further development is not contemplated, the ordinance establishing such SCUP may be rescinded by the City Council, upon its own motion or upon the recommendation of the Planning and Zoning Commission of the City of La Porte, and the previous zoning of the entire tract shall be in full effect on the portion which is undeveloped.

Validation Date: _____

Director of Planning and Development

City Secretary

Exhibit F

Site Photo





LEGAL NOTICES

**NOTICE OF PUBLIC HEARING
OF THE PLANNING & ZONING COMMISSION
OF THE CITY OF LA PORTE
ON ZONE CHANGE REQUEST # ZC-2024-0002**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct public hearings at **6:00 P.M.** on **November 4, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Zone Change Request # ZC-2024-0002, a request submitted by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a zone change from the General Commercial (GC) Zoning District to Low-Density Residential (R-1) Zoning District, on an approximately 0.618-acre tract of land located at 11811 H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, the City of La Porte will provide reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be submitted three (3) business days prior to the meetings. Please contact the City Secretary at 281- 470-5021.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0004**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0004, a request by Mark Higgins on behalf of Becky Ta/BTA Innovative Concepts LLC, owner, for approval of a SCUP to allow a secondary dwelling unit in the rear yard including approximately 136.8 square feet within the Single-Family Residential 1 (R-1) zoning district on an approximately 0.086-acre site located at 204 Dr. Martin Luther King Jr. Dr., and legally described as LT. 14, BLK 65, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0008**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0008, a request by Gary Walding, GW Group Properties LLC, owner/applicant, for approval of a SCUP to allow a commercial parking lot to be constructed within the Main Street Zoning District on 0.43 acres of land located at 0 Dr. Martin Luther King, Jr. Dr., and legally described as Lots 24-29, Block 55, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

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**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0005**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0005, a request by Bassam Khoury, applicant, on behalf of Texas Properties Khoury & Turk LLC, owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the General Commercial (GC) zoning district, on a 0.40-acre tract of land, located at 1307 W Fairmont Pky., and legally described as Lots 4 thru 7 & Tracts 8A & 25A thru 30A Block 1097 & Adjacent Alley La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

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**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0006**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0006, a request by Crystal Vasquez, Huckabee Architects, on behalf of Dustin Bromley, La Porte ISD, owner, for approval of a SCUP to allow an existing school, Lomax Jr. High School within the Low-Density Residential (R-1) zoning district on approximately 20 acres of land located at 9801 L St., and legally described as TRS 413 & 414, La Porte Outlots, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING AND ZONING COMMISSION
ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0007**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0007, a request by Usman Bukhari, applicant, on behalf of KBK Petroleum Inc., owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the Neighborhood Commercial (NC) zoning district, on a 0.92-acre tract of land, located at 9803 W Fairmont Pky, and legally described as Tracts 719A-1 & 719B La Porte Out Lots, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

**NOTICE OF PUBLIC HEARING
OF THE PLANNING & ZONING COMMISSION
OF THE CITY OF LA PORTE
ON FUTURE LAND USE AMENDMENT REQUEST # FLUP-2024-0002**

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct public hearings at **6:00 P.M.** on **November 4, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Future Land Use Amendment Request # FLUP-2024-0002, a request submitted by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a future land use amendment from Commercial to Low-Density Residential, on an approximately 0.618-acre tract of land located at 11811 H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

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Exhibit H

PLAN SNAPSHOT REPORT SCUP-2024-0007 FOR CITY OF LA PORTE

Plan Type: Special Conditional Use Permit (SCUP) **Project:** **App Date:** 09/10/2024
Work Class: Special Conditional Use Permit (SCUP) **District:** Blank **Exp Date:** NOT AVAILABLE
Status: In Review **Square Feet:** 0.00 **Completed:** NOT COMPLETED
Valuation: \$0.00 **Assigned To:** Briscoe, Yvonne **Approval Expire Date:**

Description: Vapor Vault will be a sleek, modern establishment that specializes in disposable vapes, offering a wide array of flavors and brands to cater to every vaping preference. Professional and knowledgeable staff to educate our customers.

Parcel: 0231460000798	Main	Address: 9805 Fairmont Pkwy La Porte, TX 77576	Main	Zone:
------------------------------	------	--	------	--------------

Applicant Usman Bukhari 9805 W. Fairmont Pkwy Suite C Suite C La Porte, TX 77571 Mobile: (713) 480-1400	Owner Usman Bukhari 9805 W. Fairmont Pkwy Suite C Suite C La Porte, TX 77571 Mobile: (713) 480-1400
--	--

Plan Custom Fields

Proposed NAICS Code 459991

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Usman_Bukhari_9/10/2024.jpg	09/10/2024 12:55	Bukhari, Usman		Uploaded via CSS

Note	Created By	Date and Time Created
1. spoke to applicant, requested site plan	Yvonne Briscoe	09/27/2024 10:34

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00000491	Special Conditional Use Permit	\$400.00	\$400.00
Total for Invoice INV-00000491		\$400.00	\$400.00
Grand Total for Plan		\$400.00	\$400.00

Hearing Type	Location	Scheduled Date	Status	Subject
Schedule Public Hearing (P & Z Commission) v.1	City Hall	11/04/2024	Scheduled	SCUP-2024-0007 (9805 FAIRMONT PKWY LA PORTE, TX 77576)

Attendees: Johnna Matthews; Maria Pena; Usman Bukhari; Yvonne Briscoe

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Special Conditional Use Review v.1	Requires Re-submit	09/11/2024	09/20/2024	09/16/2024	Yes	Yes

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Planning Division	Planning	Briscoe, Yvonne	Requires Re-submit	09/11/2024	09/20/2024	09/16/2024

Comments: See mark up

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1		09/10/2024 13:38	09/10/2024 13:38
Confirm Application Completeness v.1	Generic Action		09/10/2024 13:38
Fees v.1		09/10/2024 13:38	09/11/2024 8:08
Invoice Fees v.1	Generic Action		09/10/2024 13:38
Confirm Fees Paid v.1	Generic Action		09/11/2024 8:08
Review v.1			
Special Conditional Use Review v.1	Receive Submittal	09/11/2024 0:00	09/16/2024 16:22
Special Conditional Use Review v.2	Receive Submittal	09/16/2024 0:00	

PLAN SNAPSHOT REPORT (SCUP-2024-0007)

Planning & Zoning Commission v.1		10/14/2024 8:11
Schedule Public Hearing (P & Z Commission) v.1	Hold Hearing	10/17/2024 11:57
Email Applicant Scheduled Hearing v.1	Generic Action	10/17/2024 11:59
Post Sign Posting on Property v.1	Generic Action	10/16/2024 13:16
Email Legal Ad to Bay Area Observer v.1	Generic Action	10/14/2024 8:11
Confirm Bay Area Observer Published v.1	Generic Action	10/17/2024 11:57
Mail Notice of Public Hearing v.1	Generic Action	
Prepare and Distribute Staff Report v.1	Generic Action	
Staff Report Approval v.1	Generic Action	
Post Agenda and Packet on Website v.1	Generic Action	
Agenda and Packet to Commission v.1	Generic Action	
Agenda Posted On Bulletin v.1	Generic Action	
Issue Record of Decision v.1	Generic Action	
City Council v.1		
Schedule Public Hearing (City Council) v.1	Hold Hearing	
Email Applicant Scheduled Hearing v.1	Generic Action	
Email Legal Ad to Bay Area Observer v.1	Generic Action	
Confirm Bay Area Observer Published v.1	Generic Action	
Post Sign Posting on Property v.1	Generic Action	
Agenda Request v.1	Generic Action	
Issue Record of Decision v.1	Generic Action	
Issue Ordinance v.1		
Issue Ordinance v.1	Generic Action	
Complete & Close Application v.1	Generic Action	

To: Planning and Zoning Department
City of La Porte, Texas
09/10/2024

Subject: Special Conditional Use Permit Application for Vapor Vault

Dear Planning and Zoning Committee,

I am writing to formally submit an application for the opening of a vape shop, Vapor Vault, located at 9805 W. Fairmont Pkwy, Suite C. Our business aims to provide the community with a clean, modern, and regulated environment where adults can purchase disposable vapes and other vapor-related products. This shop will cater to a growing demand for an alternative to traditional tobacco products, offering a safer and more convenient option for smokers looking to transition away from harmful substances.

Project Description:

Vapor Vault will primarily specialize in disposable vapes, offering a wide selection of brands and flavors to meet various consumer preferences. The shop will be designed with a focus on responsible retail, ensuring that all products sold comply with local, state, and federal regulations concerning age restrictions, product safety, and marketing practices. We plan to create an inviting, modern storefront that complements the aesthetics of the surrounding area, with minimalistic signage and a clean, organized interior.

Our shop will prioritize safety and compliance by implementing measures such as age verification technology at the point of sale and staff training programs to ensure no underage customers are served. Additionally, we will offer educational materials to help customers make informed choices regarding nicotine usage and vaping products.

Justification for Approval:

The demand for vape products has increased steadily, as many adults seek alternatives to traditional Page 10 of 12
09/10/2024 With the public

health push toward reducing cigarette consumption, Vapor Vault will provide a legal, controlled environment where these needs can be met safely. By locating our shop in a well-zoned area, we will also contribute to the local economy by creating jobs and generating tax revenue.

Our business model aligns with community goals for safe commerce and public health. Additionally, we recognize the importance of being a responsible member of the business community and are committed to following all zoning regulations, including those regarding signage, parking, and hours of operation. The shop will not negatively impact traffic or pedestrian flow, and we will ensure that the design blends in with the surrounding businesses.

Conclusion:

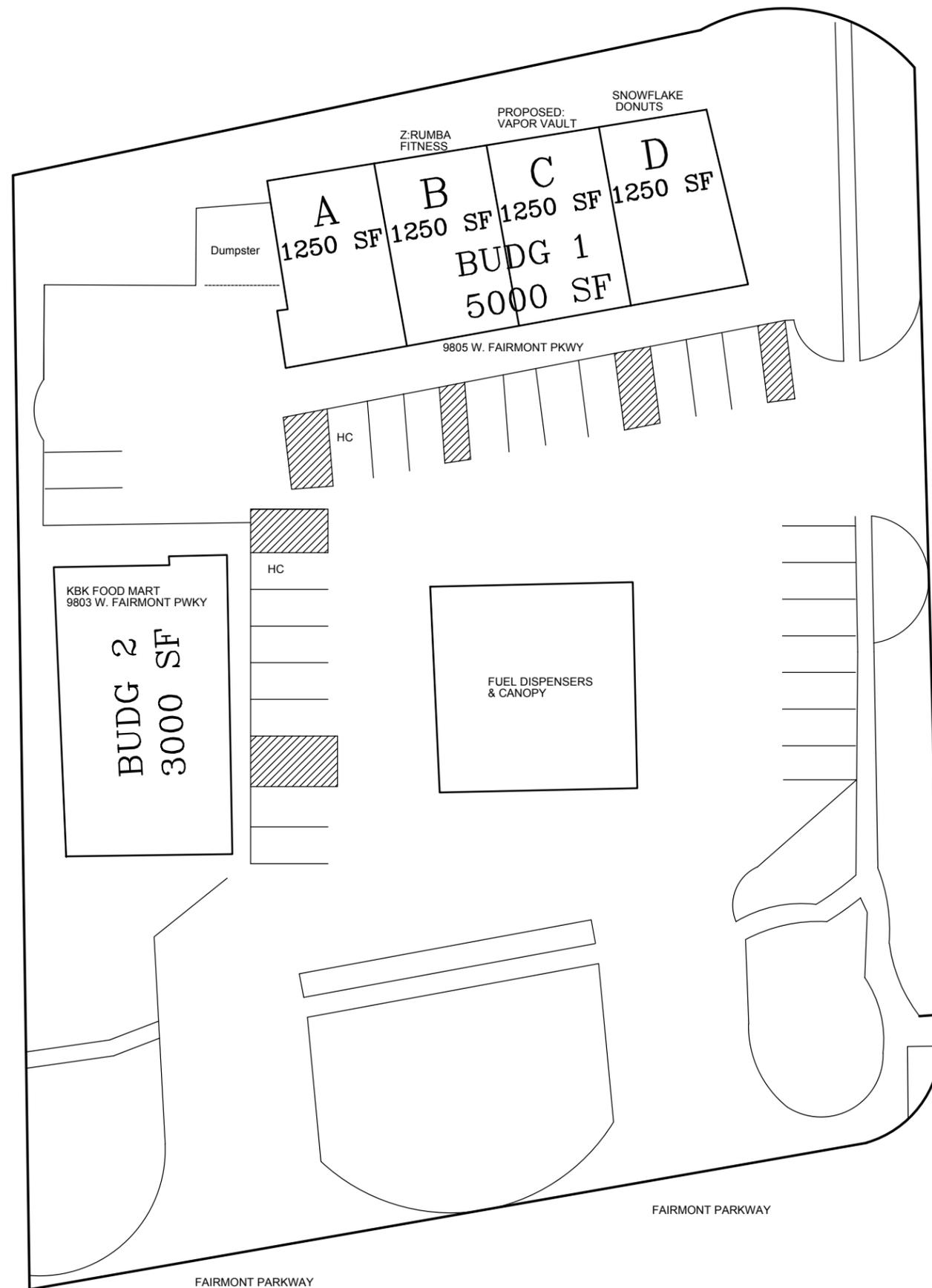
We kindly request approval for our application, as we believe that Vapor Vault will positively serve the community, fulfill consumer demand, and operate with the highest standards of safety and responsibility. We are fully committed to adhering to all Planning and Zoning regulations, and we look forward to working closely with the department to ensure a successful and compliant business launch.

Thank you for your consideration.

Sincerely,
Usman Bukhari
Lahorei Group Inc. dba Vapor Vault
(713)480-1400

Provide a site plan, conceptual site plan or general plan. Site plan should show the entire site with dimensions, including parking, driveway access, waste enclosure / receptacles, etc.





**City of La Porte, Texas
Planning and Zoning Commission**



AGENDA ITEM #5.g

Special Conditional Use Permit SCUP-2024-0008

A request by Gary Walding, GW Group Properties LLC, owner/applicant, for approval of a SCUP to allow a commercial parking lot to be constructed within the Main Street Zoning District on 0.43 acres of land located at 0 Dr. Martin Luther King, Jr. Dr., and legally described as Lots 24-29, Block 55, La Porte, Harris County, Texas.

Planning and Development Department Staff Report

REQUEST

Consider a recommendation to the La Porte City Council to approve a Special Conditional Use Permit (SCUP) to allow a commercial parking lot to be constructed within the Main Street Zoning District on approximately 0.43 acres of land located at 0 Dr. Martin Luther King, Jr. Dr., and legally described as Lots 24-29, Block 55, La Porte, Harris County, Texas.

Location:

The subject property includes approximately 0.43 acres of land and is located between N. 16th St. to the west and Dr. Martin Luther King Jr. Dr. to the east, and south of W. Polk St.

Background Information:

The owner of the subject property operates NAPA Auto Parts store, dba Allen and Kerber Auto Supply located at 518 W. Main Street, less than 60 feet from the subject property. The owner proposes to construct a parking lot on the subject property which will include thirteen (13) parking spaces primarily for use by employees of NAPA. Currently, the owner employs nineteen (19) individuals, and there are 20 existing parking spaces on the NAPA site for employee and customer parking. Employees have been parking on the street, which the owner considers unsafe.

The owner has expressed a willingness to allow other patrons to utilize the proposed parking lot for special events, evenings, and weekends.

Zoning

The subject property is located within the Main Street Zoning District, which mandates a minimum of 5% landscaped area and a 4-foot-wide landscaped frontage, inclusive of various plantings. Additionally, a 30-foot parking setback from the street right-of-way line is required for all off-street parking, maneuvering, and loading areas. Special Conditional Use Permits (SCUPS) permit deviations from the stipulations outlined in Chapter 106 of the Zoning Ordinance. The applicant is seeking a waiver of the 30-foot setback requirement for all off-street parking, maneuvering, and loading areas.

The below table summarizes the surrounding zoning and land uses:

	Zoning	Land Use
North	Main Street District (MS)	Single-Family Home
South	Main Street District (MS)	Retail
West	Main Street District (MS)	Parking Lot
East	Main Street District (MS)	Single-Family Home

Notification Requirements:

Staff finds that the public hearing notification requirements outlined in Section 106-171 were performed in accordance with code provisions, including the following: notice in a newspaper of general circulation at least 15 days prior to the hearing; written notice mailed to owners of real property within 300 feet of the site within 15 days of the hearing; and one (1) sign was posted in the area within 15 days of the hearing. In accordance with state law, notice of the public hearing was also posted at City Hall and on the City’s website.

Analysis:

There are a number of different considerations staff evaluated during the review of this application. The following describes staff’s analysis of those considerations:

1. **Land Use.** The future land use designation for the subject property is Main Street. The Main Street designation is intended to promote a mix of commercial and residential uses and preserve the unique character of the traditional Main Street area. The proposed use of the property is compatible with the future land use designation.
2. **Utilities.** Water and sewer services are available to serve the property.

The City’s Comprehensive Plan identifies a number of items to be considered prior to making land use decisions. The following table breaks down each item and staff’s findings:

Criterion:	Staff Findings:
Ability of infrastructure to support the permitted use.	Existing infrastructure in the area is sufficient to support the proposed use.
Impact on the value and practicality of the surrounding land uses.	Approval of the SCUP will enhance the safety and convenience of employee parking for NAPA by constructing a dedicated parking lot on an adjacent lot. Additionally, by allowing other patrons to use the parking lot during off-peak hours fosters a sense of community and provides much-needed parking for local events. This approach could significantly enhance the

	overall impact of the project, benefiting both employees of NAPA and the wider community.
Conformance of a zoning request with the land use plan.	No change to the future land use designation is required.
Character of the surrounding and adjacent areas.	Surrounding uses are compatible with the proposed use which will allow for additional parking in the area during off-peak hours.
Suitability of the property for the uses that would be permissible, considering density, access and circulation, and adequacy of public facilities and services.	The subject property is suitable for the proposed use.
The extent to which the proposed use designation would adversely affect the capacity or safety of that portion of the road.	It is not anticipated that the proposed use will adversely affect the capacity or safety of that portion of the road.
The extent to which the proposed use designation would create excessive air pollution, water pollution, noise pollution, or other environmental harm to adjacent properties.	It is not anticipated that the proposed SCUP would negatively impact the environmental integrity of the surrounding area.
The gain, if any, to the public health, safety, and welfare of the City.	N/A

RECOMMENDATION

Based on the above analysis, staff recommends the Planning and Zoning Commission consider the proposed SCUP-2024-0008.

ATTACHMENTS

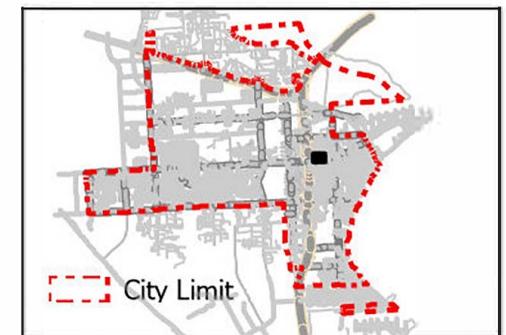
- Exhibit A: Aerial Map
- Exhibit B: Zoning Map
- Exhibit C: Future Land Use (FLUP) Map
- Exhibit D: Notification Map
- Exhibit E: SCUP Document
- Exhibit F: Site Photos
- Exhibit G: BAO Ad
- Exhibit H: Application
- Exhibit I: Citizen Comment Sheet

Exhibit A

Aerial Map

Parcel # 023188000024
Case # SCUP-2024-0008

 Subject Property



This product is for informational purposes only and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of the property boundaries

0 75 150 Feet

1 inch = 150 feet



CITY OF LA PORTE PLANNING DEPARTMENT



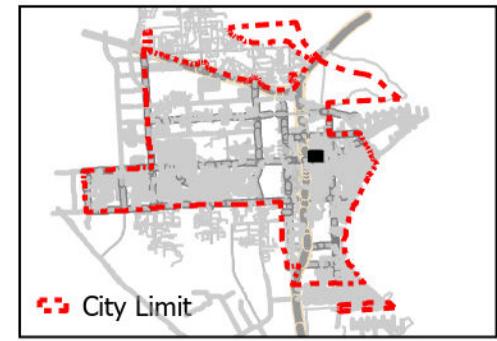
Zoning Map

Parcel # 023188000024
Case # SCUP-2024-0008

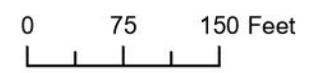
Exhibit B

 Subject Property

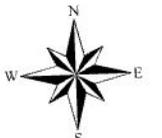
- Zoning Districts
-  General Commercial
 -  Main Street District
 -  Main Street District Overlay
 -  Low Density Residential
 -  Medium Density Residential



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1 inch = 150 feet



CITY OF LA PORTE PLANNING DEPARTMENT

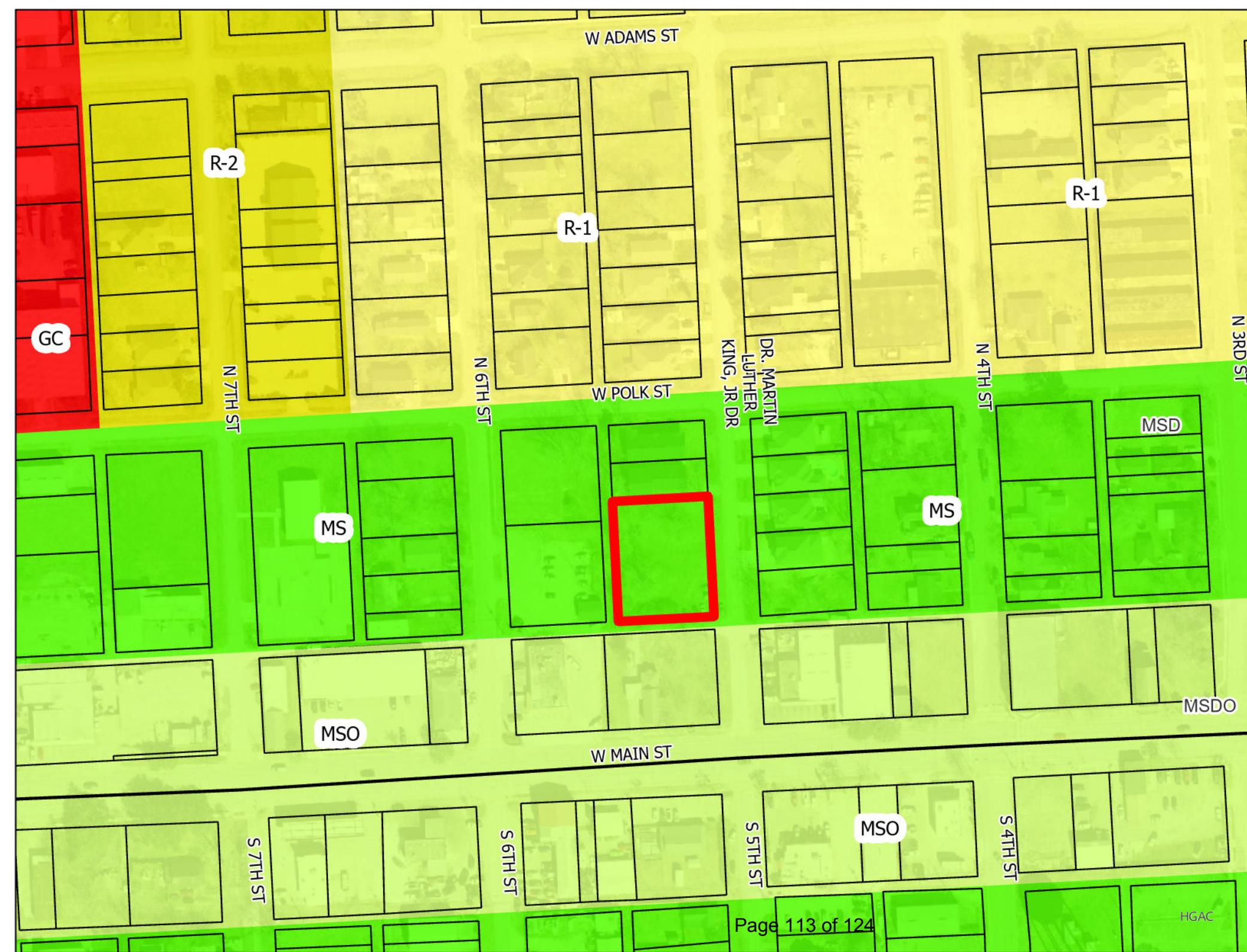


Exhibit C

FLUP Map

Parcel # 023188000024

Case # SCUP-2024-0008

 Subject Property

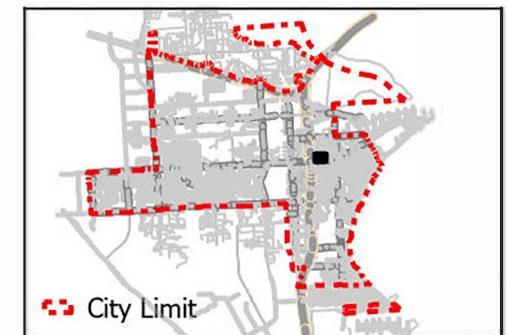
Future Land Use

 Low Density Residential

 Main Street

 Commercial

 Public / Institutional



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0 75 150 Feet

1 inch = 150 feet



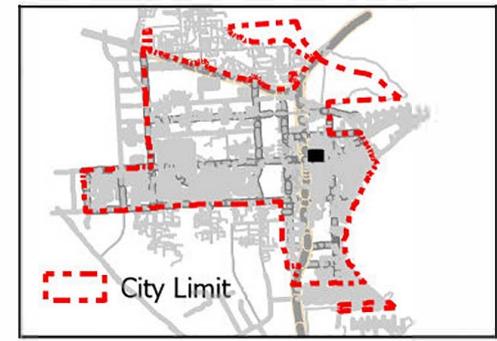
CITY OF LA PORTE PLANNING DEPARTMENT



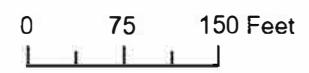
Exhibit D Notification Map

Parcels within 300 feet of
Parcel # 0231880000024
Case # SCUP-2024-0008

-  Subject Property
-  Noticed Properties



This product is for informational purposes only and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of the property boundaries



1 inch = 150 feet



CITY OF LA PORTE PLANNING DEPARTMENT



City of La Porte
Special Conditional Use Permit
#SCUP-2024-0008

This permit is issued to: Gary Walding, GW Group Properties LLC
Owner or Agent

518 W. Main St. La Porte, TX 77571
Address

For Development of: Tobacco and Smokers' Supply Store (NAICS 453991)
Development Name

0 Dr. Martin Luther King Jr. Dr.
Address

Legal Description: Lots 24-29, Block 55 La Porte, Harris County, TX

Zoning: Main Street District (MS)

Use: Parking Lot/Garage (NAICS Code 812930)

Permit Conditions:

This Special Conditional Use Permit (SCUP) is applicable for the subject property, a copy of which shall be maintained in the files of the City's Planning and Development Department upon approval. Project development shall be in accordance with the following conditions:

1. A site development plan shall be submitted, if necessary, in accordance with applicable requirements of the City of La Porte's Development Ordinance and shall comply with all provisions of Chapter 106, "Zoning" of the City's Code of Ordinances and all other department reviews and applicable laws and ordinances of the City of La Porte and the State of Texas.
2. All necessary documentation for permit review must be submitted in conjunction with the city's building permit application process for any proposed building improvements.
3. Any substantive modifications to this SCUP will require an amendment to this SCUP in accordance with Chapter 106, "Zoning" of the City's Code of Ordinances.

Failure to start construction of the site within 12 months after issuance or as scheduled under the terms of a S C U P shall void the permit as approved, except upon an extension of time granted after application to the Planning and Zoning Commission.

If contract or agreement is terminated after completion of any stage and there is ample evidence that further development is not contemplated, the ordinance establishing such SCUP may be rescinded by the City Council, upon its own motion or upon the recommendation of the Planning and Zoning Commission of the City of La Porte, and the previous zoning of the entire tract shall be in full effect on the portion which is undeveloped.

Validation Date: _____

Director of Planning and Development

City Secretary

Exhibit F

Site Photo



LEGAL NOTICES

NOTICE OF PUBLIC HEARING OF THE PLANNING & ZONING COMMISSION OF THE CITY OF LA PORTE ON ZONE CHANGE REQUEST # ZC-2024-0002

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct public hearings at **6:00 P.M.** on **November 4, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Zone Change Request # ZC-2024-0002, a request submitted by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a zone change from the General Commercial (GC) Zoning District to Low-Density Residential (R-1) Zoning District, on an approximately 0.618-acre tract of land located at 11811 H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, the City of La Porte will provide reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be submitted three (3) business days prior to the meetings. Please contact the City Secretary at 281- 470-5021.

NOTICE OF PUBLIC HEARING OF THE PLANNING AND ZONING COMMISSION ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0004

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0004, a request by Mark Higgins on behalf of Becky Ta/BTA Innovative Concepts LLC, owner, for approval of a SCUP to allow a secondary dwelling unit in the rear yard including approximately 136.8 square feet within the Single-Family Residential 1 (R-1) zoning district on an approximately 0.086-acre site located at 204 Dr. Martin Luther King Jr. Dr., and legally described as LT. 14, BLK 65, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

NOTICE OF PUBLIC HEARING OF THE PLANNING AND ZONING COMMISSION ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0008

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0008, a request by Gary Walding, GW Group Properties LLC, owner/applicant, for approval of a SCUP to allow a commercial parking lot to be constructed within the Main Street Zoning District on 0.43 acres of land located at 0 Dr. Martin Luther King, Jr. Dr., and legally described as Lots 24-29, Block 55, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

NOTICE OF PUBLIC HEARING OF THE PLANNING AND ZONING COMMISSION ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0005

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0005, a request by Bassam Khoury, applicant, on behalf of Texas Properties Khoury & Turk LLC, owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the General Commercial (GC) zoning district, on a 0.40-acre tract of land, located at 1307 W Fairmont Pky., and legally described as Lots 4 thru 7 & Tracts 8A & 25A thru 30A Block 1097 & Adjacent Alley La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

NOTICE OF PUBLIC HEARING OF THE PLANNING AND ZONING COMMISSION ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0006

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0006, a request by Crystal Vasquez, Huckabee Architects, on behalf of Dustin Bromley, La Porte ISD, owner, for approval of a SCUP to allow an existing school, Lomax Jr. High School within the Low-Density Residential (R-1) zoning district on approximately 20 acres of land located at 9801 L St., and legally described as TRS 413 & 414, La Porte Outlots, La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

NOTICE OF PUBLIC HEARING OF THE PLANNING AND ZONING COMMISSION ON SPECIAL CONDITIONAL USE PERMIT SCUP-2024-0007

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct a public hearing at **6:00 P.M.** on the **4th day of November 2024**, at City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearing is to receive public input on Special Conditional Use Permit SCUP-2024-0007, a request by Usman Bukhari, applicant, on behalf of KBK Petroleum Inc., owners, for approval of a SCUP to allow a Tobacco and Smokers' Supply Store (NAICS Code 453991) within the Neighborhood Commercial (NC) zoning district, on a 0.92-acre tract of land, located at 9803 W Fairmont Pky, and legally described as Tracts 719A-1 & 719B La Porte Out Lots, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received three (3) business days prior to the meeting. Please contact the Planning Department at 281-470-5057.

NOTICE OF PUBLIC HEARING OF THE PLANNING & ZONING COMMISSION OF THE CITY OF LA PORTE ON FUTURE LAND USE AMENDMENT REQUEST # FLUP-2024-0002

Notice is hereby given that the La Porte Planning and Zoning Commission will conduct public hearings at **6:00 P.M.** on **November 4, 2024**, in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code.

The purpose of the hearings is to receive public input on Future Land Use Amendment Request # FLUP-2024-0002, a request submitted by Juan Villareal, applicant, on behalf of Synergy 7 LLC, owner, for approval of a future land use amendment from Commercial to Low-Density Residential, on an approximately 0.618-acre tract of land located at 11811 H St., and legally described as TR 241C LA PORTE OUTLOTS; La Porte, Harris County, Texas.

Following the public hearing, the Planning and Zoning Commission will act upon the public hearing item and conduct other matters pertaining to the Commission.

Citizens wishing to address the Commission pro or con during the public hearing are required to sign in before the meeting is convened.

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, the City of La Porte will provide reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be submitted three (3) business days prior to the meetings. Please contact the City Secretary at 281- 470-5021.

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Exhibit H

PLAN SNAPSHOT REPORT SCUP-2024-0008 FOR CITY OF LA PORTE

Plan Type: Special Conditional Use Permit (SCUP) **Project:** **App Date:** 09/17/2024
Work Class: Special Conditional Use Permit (SCUP) **District:** Blank **Exp Date:** NOT AVAILABLE
Status: In Review **Square Feet:** 0.00 **Completed:** NOT COMPLETED
Valuation: \$0.00 **Assigned To:** Matthews, Johnna **Approval Expire Date:**
Description: I'm needing to put in a parking area for about 15 vehicles to park during the day. I own Allen and Kerber Auto Supply across the street and needing more employee parking.

Parcel: 0231880000024	Main	Address:	Zone:
------------------------------	------	-----------------	--------------

Owner	Applicant
Gary Walding	Gary Walding
518 W Main Street	518 W Main Street
La Porte, TX 77571	La Porte, TX 77571
Business: (281) 471-3133	Business: (281) 471-3133
Mobile: (832) 533-7763	Mobile: (832) 533-7763

Plan Custom Fields

Proposed NAICS Code 812930

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Gary_Walding_9/17/2024.jpg	09/17/2024 15:36	Walding, Gary		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00000560	Special Conditional Use Permit	\$400.00	\$400.00
Total for Invoice INV-00000560		\$400.00	\$400.00
Grand Total for Plan		\$400.00	\$400.00

Hearing Type	Location	Scheduled Date	Status	Subject
Schedule Public Hearing (P & Z Commission) v.1	City Hall	11/04/2024	Scheduled	SCUP-2024-0008
Attendees: Gary Walding; Johnna Matthews; Maria Pena; Yvonne Briscoe				

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Special Conditional Use Review v.1	In Review	09/18/2024	09/27/2024		No	No

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Planning Division	Planning	Matthews, Johnna	In Review	09/18/2024	09/27/2024	

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1		09/17/2024 17:01	09/17/2024 17:01
Confirm Application Completeness v.1	Generic Action		09/17/2024 17:01
Fees v.1		09/17/2024 17:01	09/18/2024 8:01
Invoice Fees v.1	Generic Action		09/17/2024 17:01
Confirm Fees Paid v.1	Generic Action		09/18/2024 8:01
Review v.1			
Special Conditional Use Review v.1	Receive Submittal	09/18/2024 0:00	
Planning & Zoning Commission v.1		10/16/2024 13:17	
Schedule Public Hearing (P & Z Commission) v.1	Hold Hearing	10/17/2024 12:05	
Email Applicant Scheduled Hearing v.1	Generic Action		10/17/2024 12:05
Post Sign Posting on Property v.1	Generic Action		10/16/2024 13:17
Email Legal Ad to Bay Area Observer v.1	Generic Action		10/17/2024 12:05
Confirm Bay Area Observer Published v.1	Generic Action		10/17/2024 12:05

PLAN SNAPSHOT REPORT (SCUP-2024-0008)

Mail Notice of Public Hearing v.1	Generic Action
Prepare and Distribute Staff Report v.1	Generic Action
Staff Report Approval v.1	Generic Action
Post Agenda and Packet on Website v.1	Generic Action
Agenda and Packet to Commission v.1	Generic Action
Agenda Posted On Bulletin v.1	Generic Action
Issue Record of Decision v.1	Generic Action
City Council v.1	
Schedule Public Hearing (City Council) v.1	Hold Hearing
Email Applicant Scheduled Hearing v.1	Generic Action
Email Legal Ad to Bay Area Observer v.1	Generic Action
Confirm Bay Area Observer Published v.1	Generic Action
Post Sign Posting on Property v.1	Generic Action
Agenda Request v.1	Generic Action
Issue Record of Decision v.1	Generic Action
Issue Ordinance v.1	
Issue Ordinance v.1	Generic Action
Complete & Close Application v.1	Generic Action



GW Parts Group, Inc.
dba Allen and Kerber Auto Supply

9/17/2024

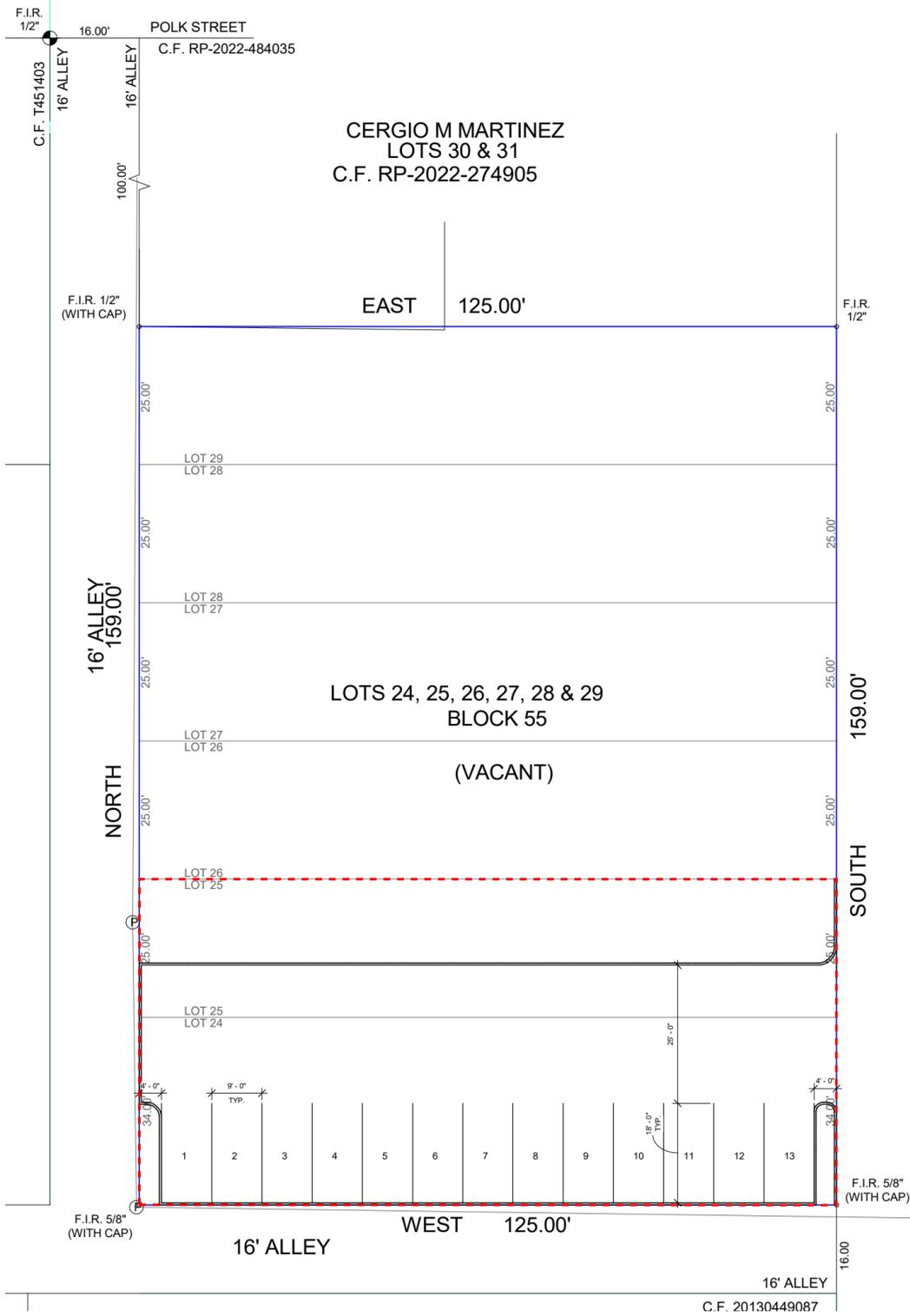
To Whom It May Concern:

The purpose of needing the parking lot is for my employees at Allen and Kerber Auto Supply. We have 15 employees and limited parking at the store. They are now parking on the street and it's not safe for them. If allow this parking area when the city has special events others can use the area for parking evenings and weekends.

Sincerely

A handwritten signature in black ink that reads "Gary Walding". The signature is written in a cursive, flowing style.

Gary Walding
President
281-471-3133



① PROPOSED PARKING LAYOUT
1" = 10'-0"

DR. MARTIN LUTHER KING JR. DRIVE
(5TH STREET PER PLAT)
(60' R.O.W.)

KEY PLAN
NORTH PLAN TRUE

DISCIPLINE

04.13.2023

PROJECT NUMBER	DATE
Project	Issue Date
Author	CHECKED BY:
	Checker

No.	Description	Date

Project Status

TITLE

PARKING LAYOUT

SHEET NUMBER
G101



Planning and Zoning
Commission

NOTICE OF A PUBLIC HEARING

Scheduled For **November 4, 2024, 6:00 PM** City Council Chambers

COMMENT SHEET FOR:
SCUP-2024-0008

I have received notice of the above-referenced public hearing.

I am in **FAVOR** of granting this request for the following reasons:

more parking for main st.

I am **OPPOSED** to granting this request for the following reasons:

Frank Nance

Name (please print)

Frank Nance

Signature

508 W main St

Address

La Porte, Tx 77571

City, State, Zip

*Comment sheets can be returned via mail using the provided self-addressed envelope, by email to planning@laportetx.gov, or in person at City Hall.